

Attachment B

Selected Drawings

Banksia

20-26 Bourke Road, Alexandria

Development Application

Development Application - Drawing List

Sheet Number	Sheet Name	Current Revision	Current Revision Date
DA00.000	Drawing List	C	20.03.26
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Notification			
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NatHERS and BASIX Building Fabric Requirements

The following building fabric requirements apply to all dwellings except where noted otherwise

Element	Specification
Glazing Values	Type A windows (awning windows) U-Value = 3.6, SHGC = 0.28 Type B windows (Fixed, Sliding) U-Value = 3.0, SHGC = 0.28
Glazing Upgrade 1	Type A windows (awning windows) U-Value = 3.0, SHGC = 0.28 Type B windows (fixed, Sliding) U-Value = 2.7, SHGC = 0.28
Glazing Upgrade 2	Upgrade applied to the following units – 2.09, 6.10, 7.10, 8.10, 9.10, 10.10, 11.10, 12.10, 13.10, 14.01, 14.02, 14.09, 14.11 Type A windows (awning windows) U-Value = 2.4, SHGC = 0.28 Type B windows (fixed, Sliding) U-Value = 2.1, SHGC = 0.28
Wall Construction Types	Upgrade applied to the following units – 14.10 General External Walls = Brick Veneer Concrete Column External Walls = Concrete Column, insulated both sides Internal walls (within units) – Plasterboard Stud Wall, no insulation required Intertenancy walls – Plasterboard Stud Wall, insulated Walls adjacent to corridors – Plasterboard Stud Wall, insulated Unit walls adjacent lifts and stairs = Minimum 200mm concrete, insulated
Wall R-values Types	General External Walls = R3.5 insulation only value Concrete Column External Walls = External to internal – 28mm Rockwool loose fill (k = 0.04), 200mm concrete, Rockwool batt R2.0 Internal walls (within units) = none required Intertenancy walls – adjacent to neighbour = R2.0 insulation only value Walls adjacent to corridors = R3.5 insulation only value Internal walls – lifts and stairs = R2.0 insulation only value

Element	Specification
Ceiling/Roof Construction	Concrete – minimum 150mm
Ceiling/Roof R-values	Exposed ceiling/roof (including balconies) or plant = R4.0 insulation only value
Ceiling Penetrations	All ceiling penetrations to be sealed. Downlights: Zones 5m² or less = 1 downlight Zones 5-10m² = 2 downlights Zones greater than 10m² = 1 downlight per 2.5m² Downlights (50mm penetration and 50mm clearance) Bathroom exhaust (250mm penetration and 50mm clearance)
Floor Construction	Concrete – minimum 150mm
Floor R-values	Exposed floor = R2.0 insulation only value As per plans
Floor covering	Wet areas (excluding kitchens) = tiles All other areas = timber
Ceiling Fans	1200mm Ceiling fans to all living areas and bedrooms



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NSW Nominated Responsible Architects
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Client
City West Housing

Current Revision Description

Data Issue Record
Current Revision released by
Rev Date Description

C 20.03.26 Amended DA Issue
B 16.03.26 Amended DA Issue
A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title

Drawing List

Phase
Development Application

Status
For Approval
Scale
1 : 100 @ A1

Drawing no.
DA00.000
Revision
C

C:\temp\BANKSIA\BANKSIA_BS_DA001_170315\CH01\WOODCH01\BANKSIA_BS_DA001_170315.dwg



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City West Housing

LEGEND - EXISTING SITE PLAN
— Property Boundary
● Existing surrounding tree
() Trees to be removed

Current Revision Description

Data Issue Record
Current Revision released by
Rev Date Description

A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA01 - Site
Existing Site Plan

Phase
Development Application

Status
For Approval

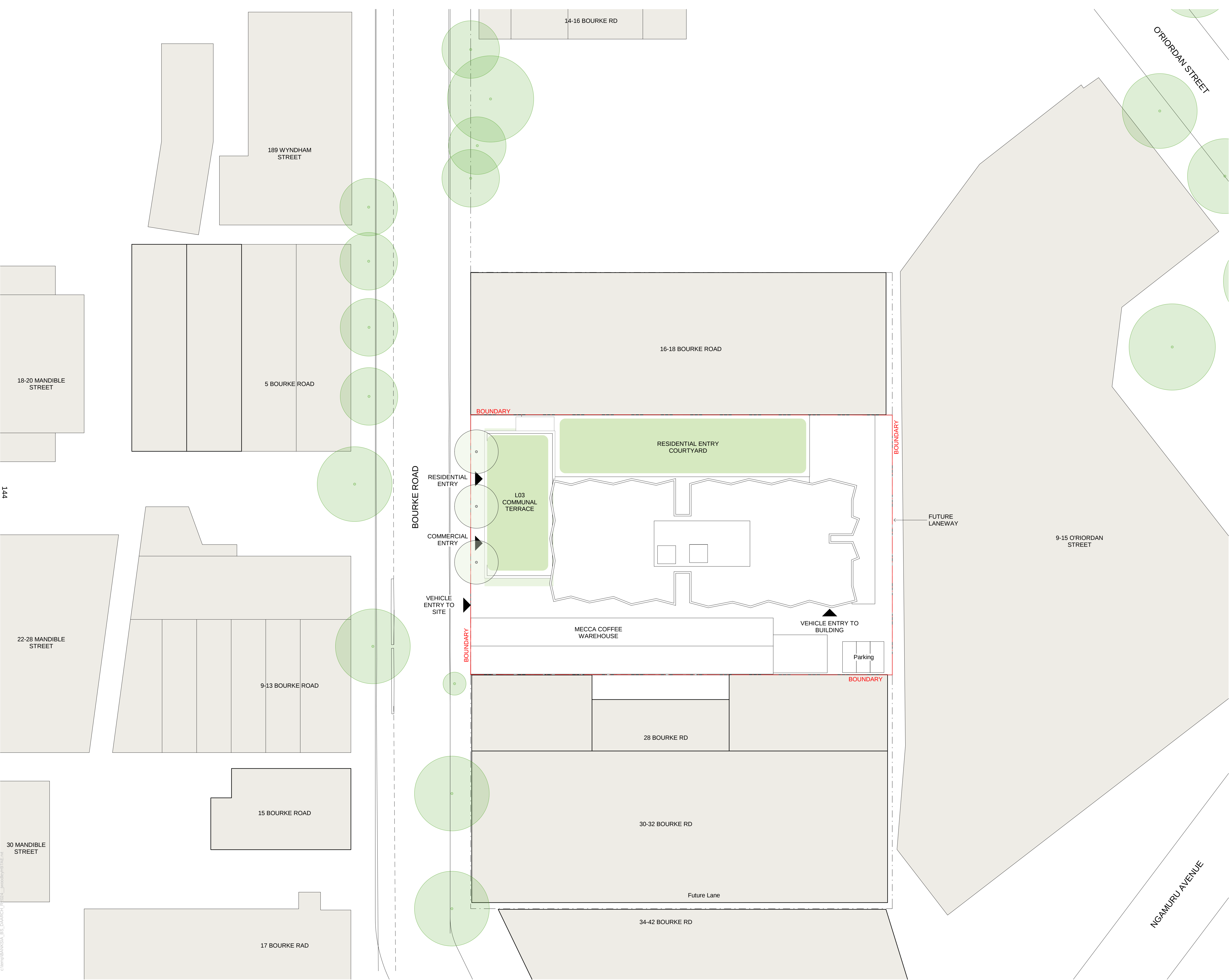
Drawing no.
DA01.000

Scale
1 : 300 @ A1

Revision
A



C:\temp\BANKSIA_AS_DA001_170315\BANKSIA_AS_DA001_170315.dwg



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LEGEND - EXISTING SITE PLAN

- Property Boundary
- Future Footpath Dedication
- Existing surrounding tree
- New tree on Site

Current Revision Description

Data Issue Record		
Current Revision released by		
Rev	Date	Description

A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal

Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

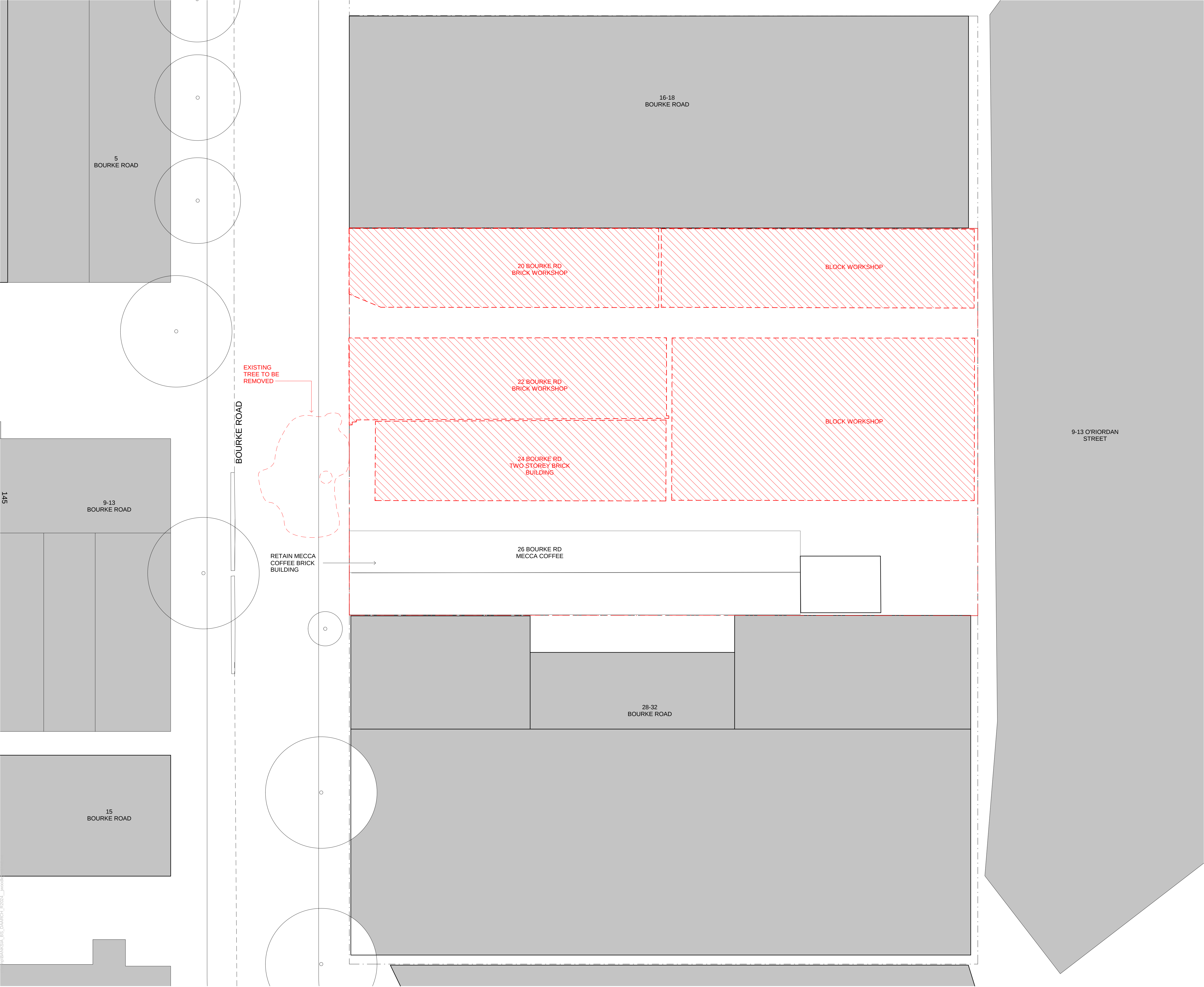
Drawing Title
DA01 - Site
Proposed Site Plan

Phase
Development Application

Status
For Approval

Drawing no.
DA01.002

Scale
As indicated
@ A1
Revision
A



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LEGEND - DEMOLITION PLAN

- Property Boundary
- Proposed for removal and demolition

Current Revision Description

Data Issue Record		
Current Revision released by		
Rev	Date	Description

A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal

Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA01 - Site
Demolition Plan

Phase
Development Application

Status

Drawing no.
DA01.100

Scale
As indicated
@ A1
Revision
A



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Client

City West Housing

LEGEND - GENERAL ARRANGEMENT PLANS

- Property Boundary
- Future Footpath Dedication
- Boundary Setbacks
- M Mechanical
- E Electrical
- H Hydraulic
- F Fire
- C Comms
- LH Livable Housing Design
- VS Livable Housing Design Beyond Voluntary Standard
- Fixed Glass - Clear
- Operable - Sliding
- Operable - Awning
- Operable - Louvres
- Surrounding Tree
- Proposed Landscape - Refer to Landscape Architects documentation

Current Revision Description

SUMMARY OF CHANGES

- Lift added
- Ground floor bathroom replanned
- Additional window to L01 East
- Townhouse
- L03 Common Bathroom replanned
- Updates to L03 Communal Outdoor Space
- L03 door to Communal Open Space noted as glazed
- SRV Loading space added
- Commercial bike parking relocated
- Waste room updated

Data Issue Record

Current Revision released by

Rev	Date	Description
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B	03.02.26	Amended DA Issue
A	17.09.25	DA Issue

Project Title

Banksia

First Nations Country

Gadigal

Project Address

20-26 Bourke Rd
Alexandria

Project No.

S12877

Drawing Title

DA03 - General Arrangement Plan
Ground Level

Phase

Development Application

Status

For Approval

Drawing no.

DA03.000

Scale

As indicated

@ A1

Revision

B



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Client

City West Housing

LEGEND - GENERAL ARRANGEMENT PLANS

-
- - - - - Property Boundary
 - - - - - Future Footpath Dedication
 - - - - - Boundary Setbacks

 M Mechanical
 E Electrical
 H Hydraulic
 F Fire
 C Comm

 LH Livable Housing Design
 VS Livable Housing Design Beyond Voluntary Standard

 Fixed Glass - Clear
 Operable - Sliding
 Operable - Awning
 Operable - Louvres

 Surrounding Tree
 Proposed Landscape - Refer to Landscape Architects documentation

Current Revision Description

SUMMARY OF CHANGES

- Lift added
- Ground floor bathroom replanned
- Additional window to L01 East Townhouse
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- Updates to L03 Communal Outdoor Space
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- SRV Loading space added
- Commercial bike parking relocated
- Waste room updated

Data Issue Record

Rev	Date	Description
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Rev	Date	Description
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C	16.03.26	Amended DA Issue
B	03.02.26	Amended DA Issue
A	17.09.25	DA Issue

Project Title

Banksia

First Nations Country

Gadigal

Project Address

20-26 Bourke Rd
Alexandria

Project No.

S12877

Drawing Title

DA03 - General Arrangement Plan
Level 01

Phase

Development Application

Status

For Approva

Drawing no

DA03.001

Scale

As indicated

@ A1

Revision

C





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LEGEND - GENERAL ARRANGEMENT PLANS

- Property Boundary
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- Boundary Setbacks
- M Mechanical
- E Electrical
- H Hydraulic
- F Fire
- C Comms
- LH Livable Housing Design
- VS Livable Housing Design Beyond Voluntary Standard
- Fixed Glass - Clear
- Operable - Sliding
- Operable - Awning
- Operable - Louvres
- Surrounding Tree
- Proposed Landscape - Refer to Landscape Architects documentation

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Data Issue Record

Current Revision released by

Rev	Date	Description
-----	------	-------------

B	03.02.26	Amended DA Issue
A	17.09.25	DA Issue

Project Title
Banksia

First Nations Country
Gadigal

Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

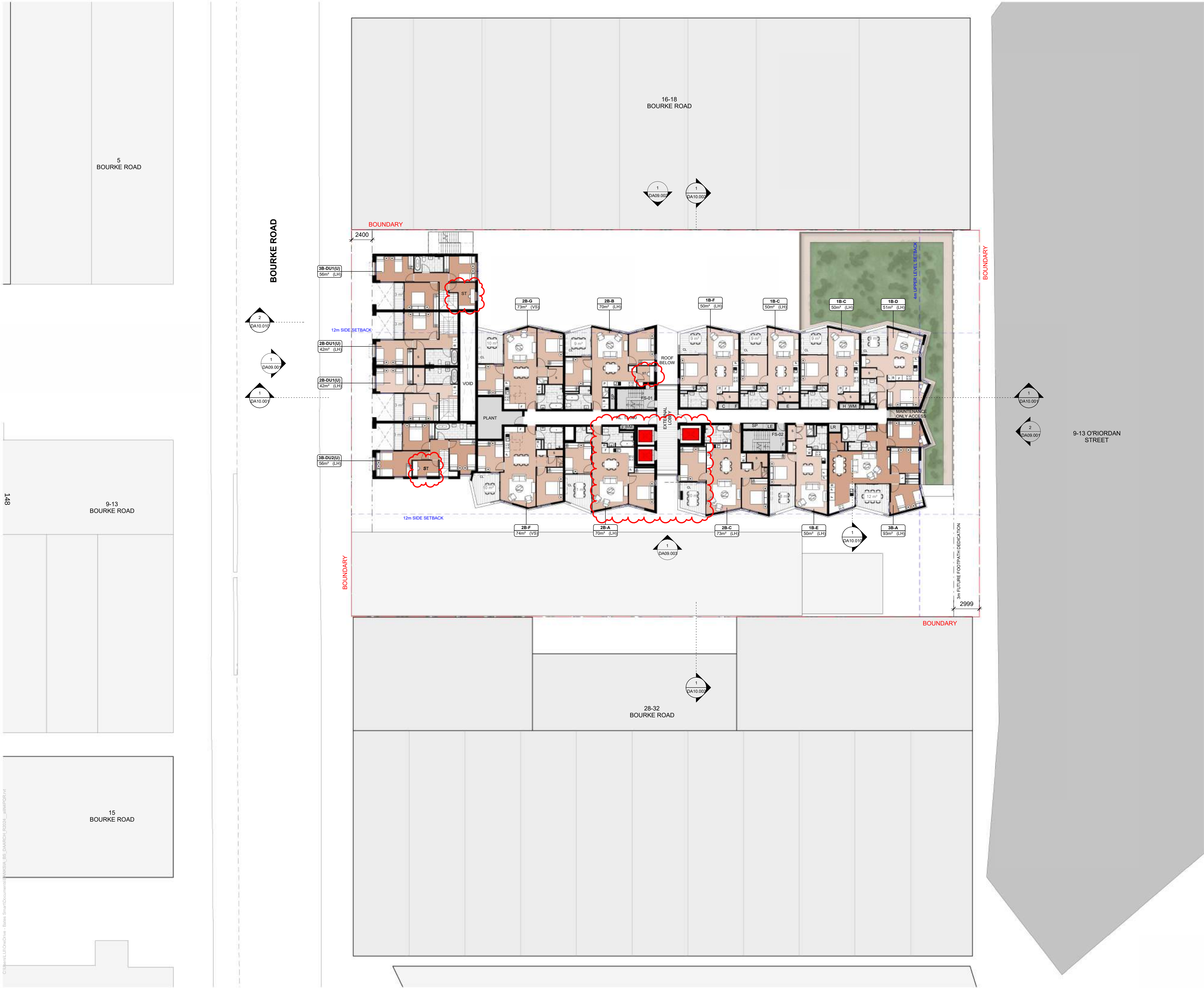
Drawing Title
DA03 - General Arrangement Plan
Level 02

Phase
Development Application

Status
For Approval

Drawing no.
DA03.002

Scale
As indicated
@ A1
Revision
B





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LEGEND - GENERAL ARRANGEMENT PLANS

- Property Boundary
- Future Footpath Dedication
- Boundary Setbacks
- M Mechanical
- E Electrical
- H Hydraulic
- F Fire
- C Comms
- LH Livable Housing Design
- VS Livable Housing Design Beyond Voluntary Standard
- Fixed Glass - Clear
- Operable - Sliding
- Operable - Awning
- Operable - Louvres
- Surrounding Tree
- Proposed Landscape - Refer to Landscape Architects documentation

Current Revision Description

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Data Issue Record		
Current Revision released by		
Rev	Date	Description

B	03.02.26	Amended DA Issue
A	17.09.25	DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

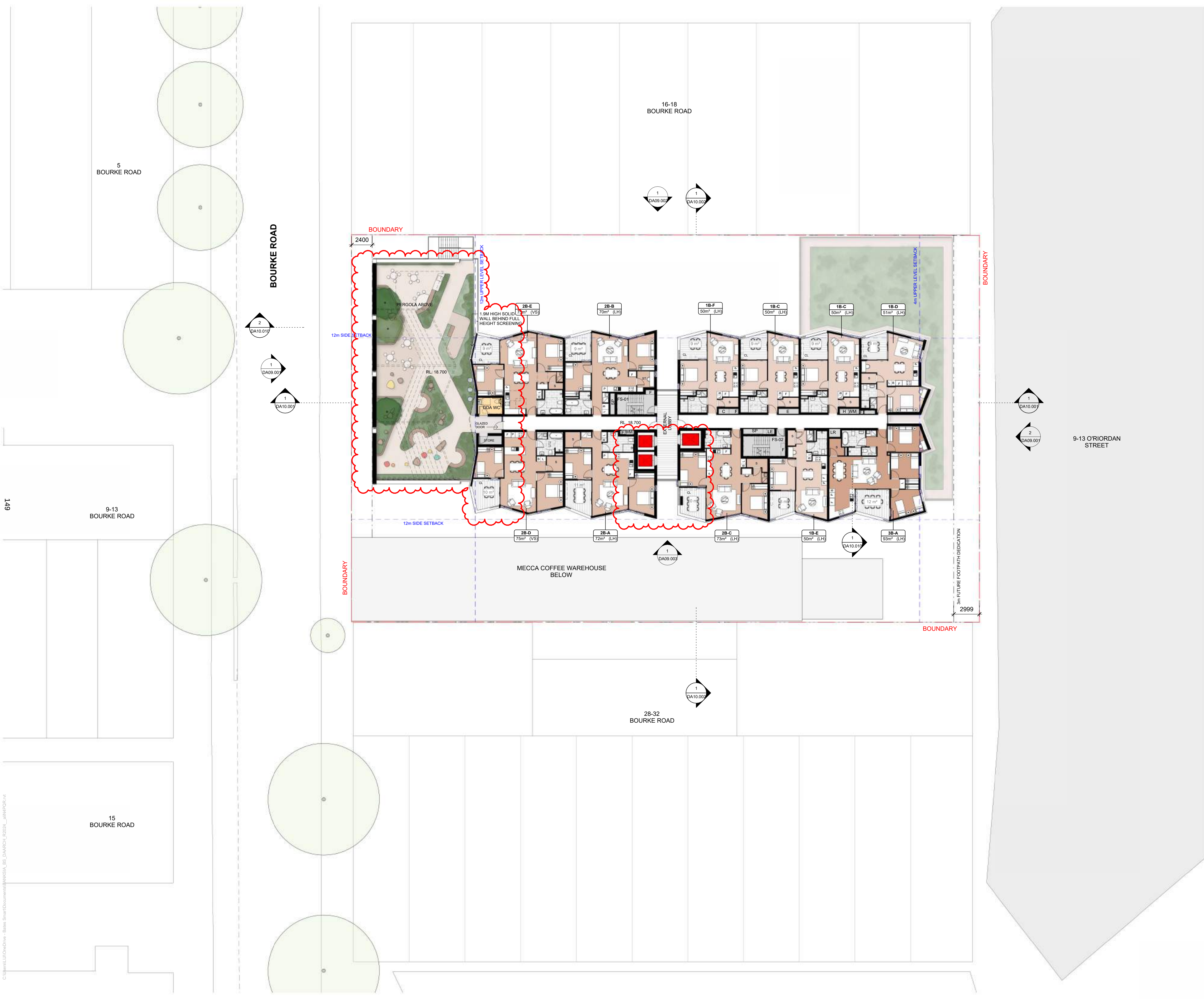
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DA03 - General Arrangement Plan
Level 03

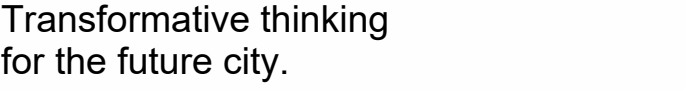
Phase
Development Application

Status
For Approval

Drawing no.
DA03.003

Scale
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Client
City West Housing

- ## LEGEND - GENERAL ARRANGEMENT PLANS
- | | |
|---|--|
|  | Property Boundary |
|  | Future Footpath Dedication |
|  | Boundary Setbacks |
|  | |
| M | Mechanical |
| E | Electrical |
| H | Hydraulic |
| F | Fire |
| C | Comms |
| LH | Livable Housing Design |
| VS | Livable Housing Design |
| | Beyond Voluntary Standard |
|  | Fixed Glass - Clear |
|  | Operable - Sliding |
|  | Operable - Awning |
|  | Operable - Louvres |
|  | Surrounding Tree |
|  | Proposed Landscape - Refer to Landscape Architects documentation |

Current Revision Description

- ## SUMMARY OF CHANGES
- Lift added
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Data Issue Record

Current Revision released by

Rev	Date	Description
-----	------	-------------

B	03.02.26	Amended DA Issue
A	17.09.25	DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
**20-26 Bourke Rd
Alexandria**

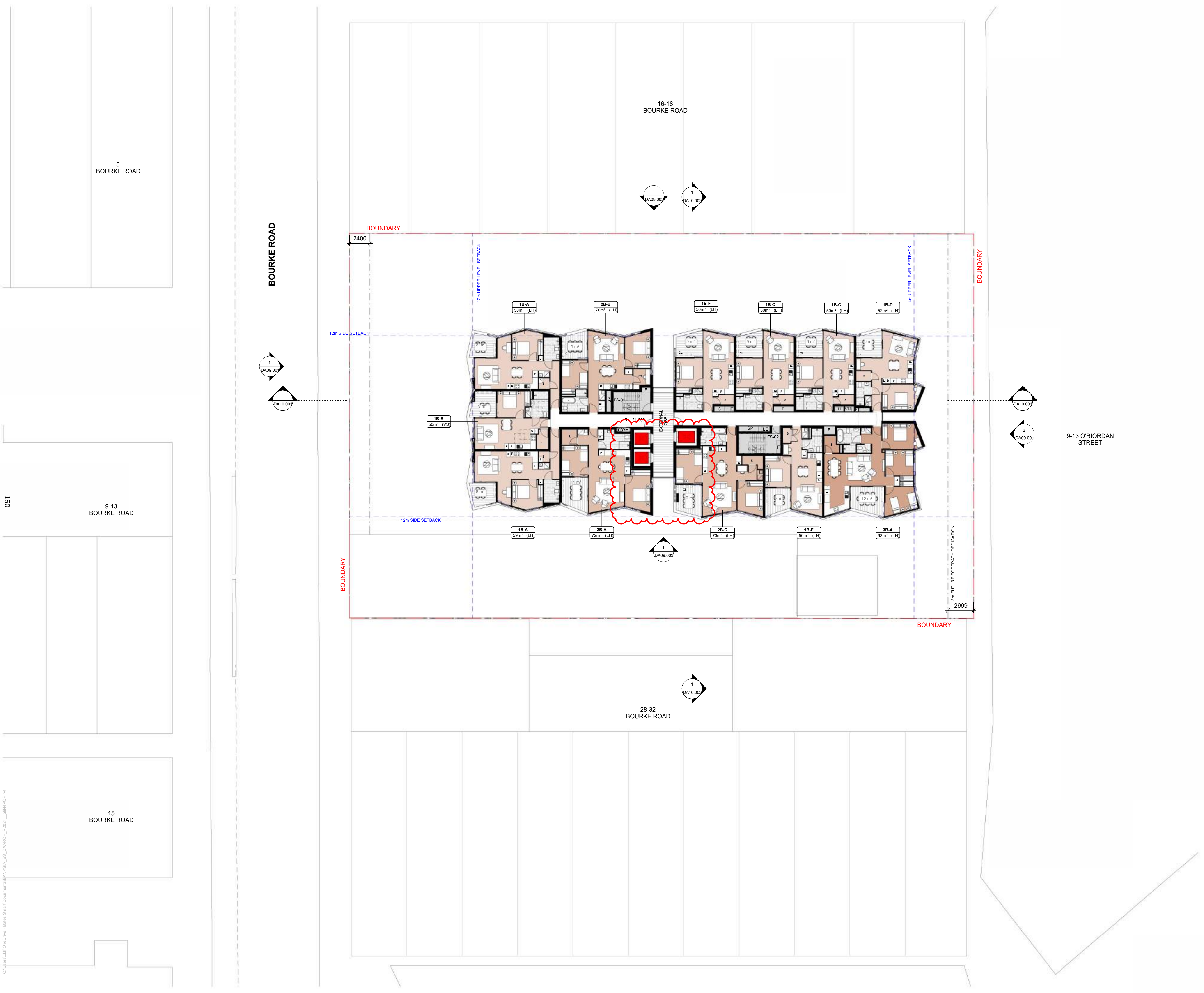
Project No. S12877

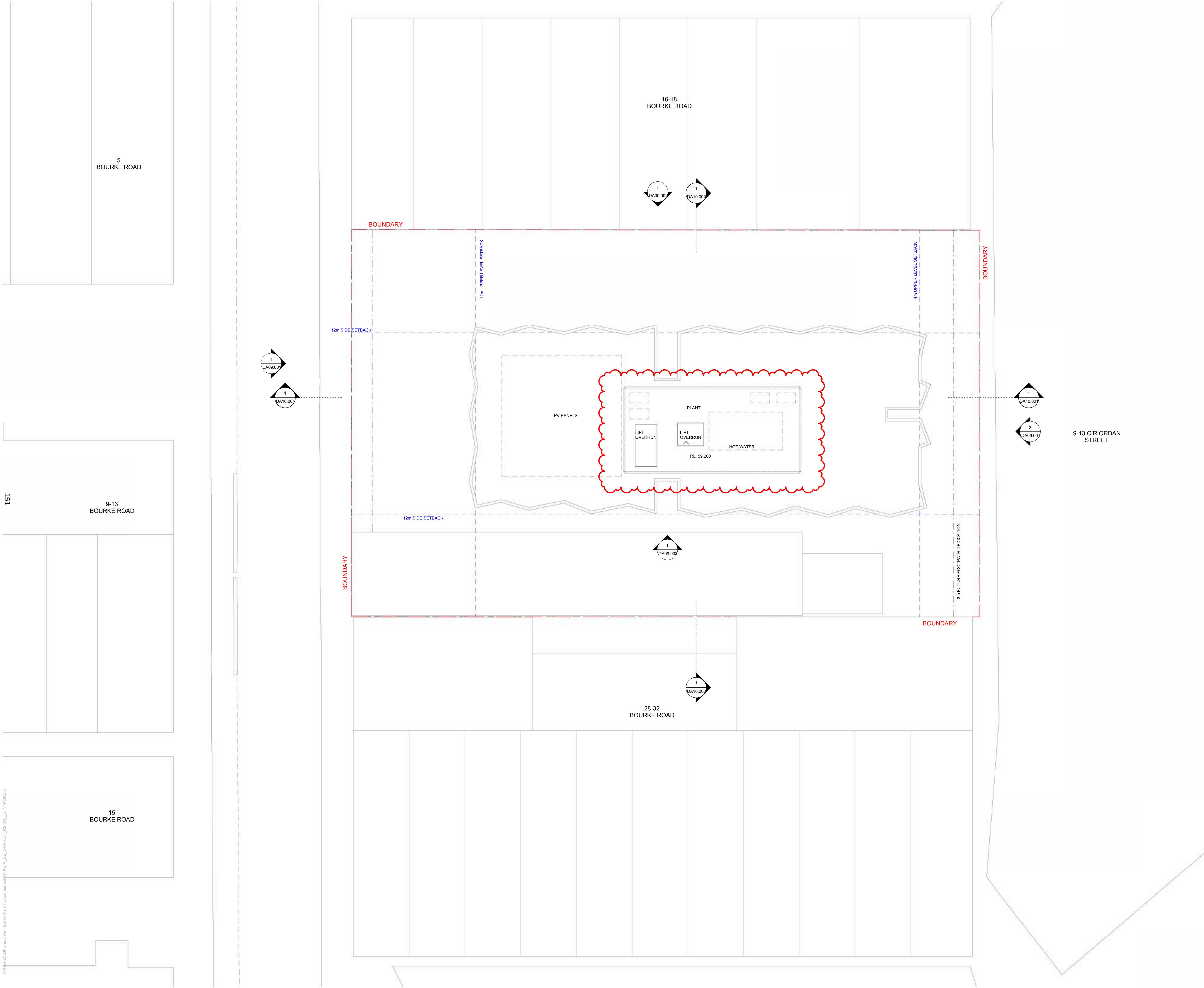
Drawing Title
DA03 - General Arrangement Plan
Level 04-14

Phase Development Application

Status	Scale
For Approval	As indicated

Drawing no. **DA03.004** Revision **B**





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Client
City West Housing

LEGEND - GENERAL ARRANGEMENT PLANS

- Property Boundary
- Future Footpath Dedication
- Boundary Setbacks
- M Mechanical
- E Electrical
- H Hydraulic
- F Fire
- C Comms
- LH Livable Housing Design
- VS Livable Housing Design Beyond Voluntary Standard
- Fixed Glass - Clear
- Operable - Sliding
- Operable - Awning
- Operable - Louvres
- Surrounding Tree
- Proposed Landscape - Refer to Landscape Architects documentation

Current Revision Description

- SUMMARY OF CHANGES
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Data Issue Record		
Current Revision released by		
Rev	Date	Description

B	03.02.26	Amended DA Issue
A	17.09.25	DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA03 - General Arrangement Plan
Roof Plan

Phase
Development Application

Status
For Approval

Drawing no.
DA03.015

Scale
As indicated
@ A1
Revision
B

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Client
City West Housing

LEGEND - ELEVATIONS

- Property Boundary
- Future Footpath Dedication
- Height Limit

Glazing Material & Operation

- Fixed Glass - Clear
- Operable - Sliding
- Operable - Awning
- Operable - Louvres

Current Revision Description

Data Issue Record		
Current Revision released by		
Rev	Date	Description

A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
**20-26 Bourke Rd
Alexandria**

Project No.
S12877

Drawing Title
**DA09 - Elevations
North & South Elevation**

Phase
Development Application

Status
For Approval

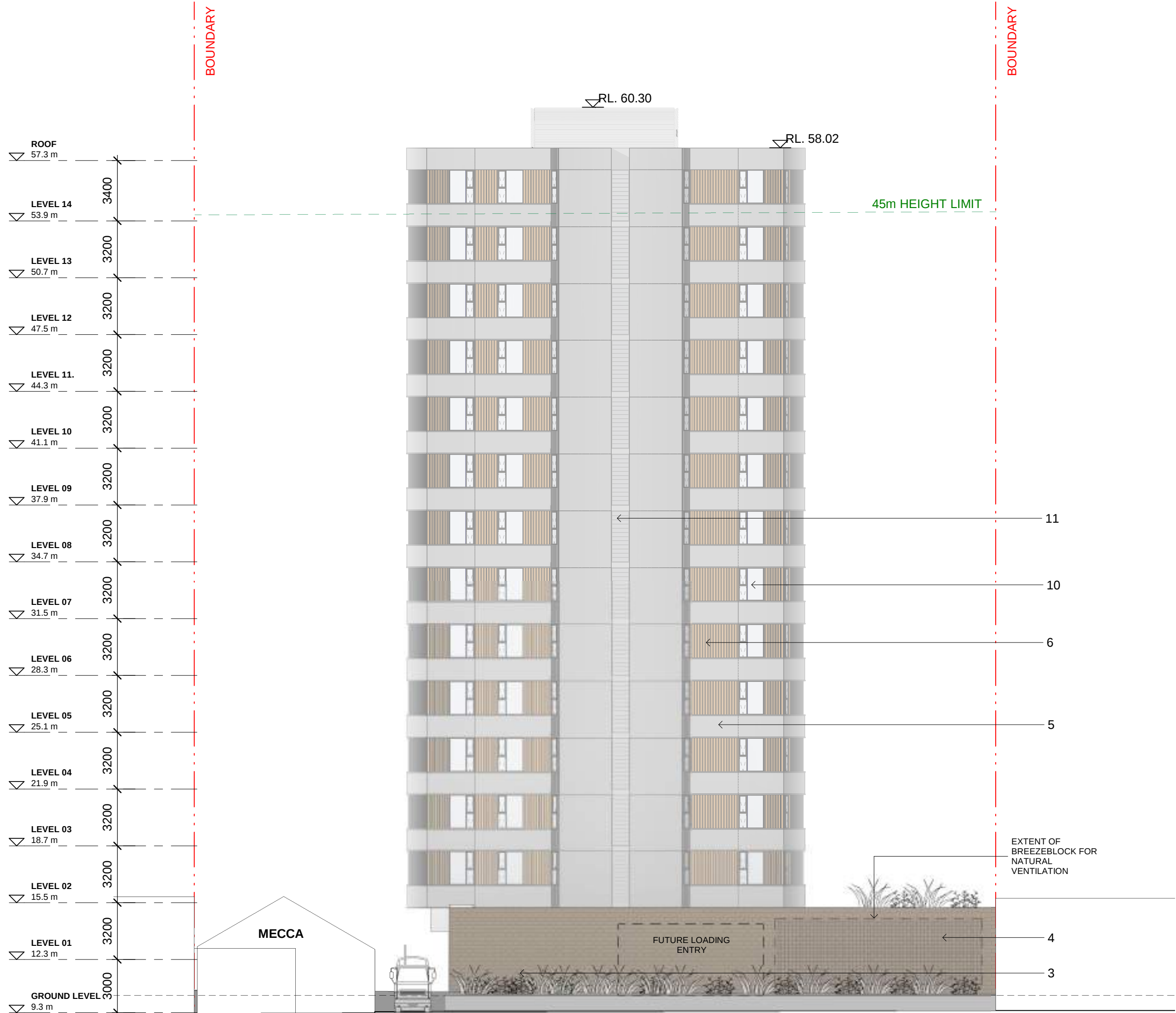
Drawing no.
DA09.001

Scale
As indicated
@ A1
Revision
A

152



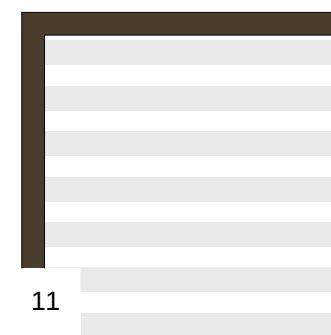
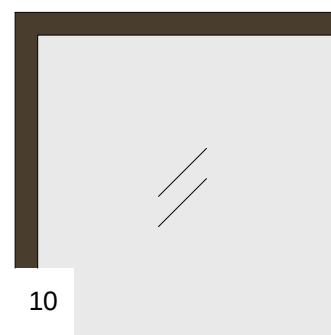
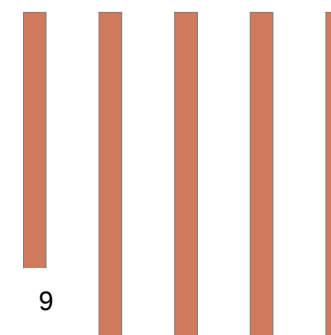
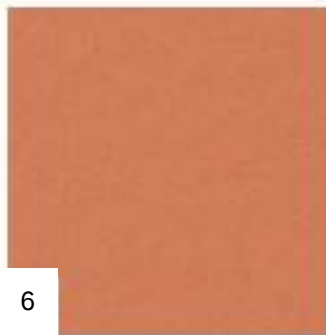
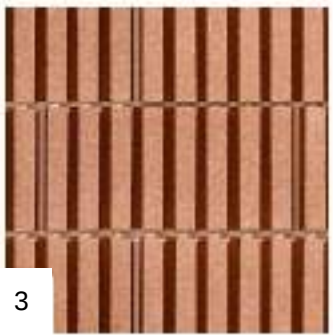
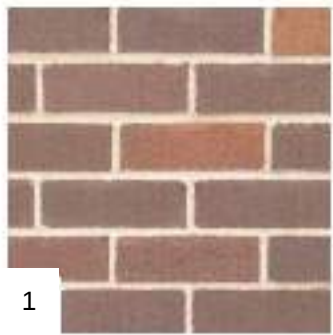
1 North Elevation
1 : 200



2 South Elevation
1 : 200

MATERIALS LEGEND

- Red Brick
- White Brick
- Terracotta - toned Blockwork
- Terracotta - toned Breezeblock
- Sand - toned Brick
- Terracotta - toned Aluminium Cladding
- Dark bronze - toned Aluminium Cladding
- In-situ Columns
- Terracotta - toned Aluminium Screening
- Glazing
- Glass Louvres





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Bates Smart Architects Pty Ltd
ABN 68 094 740 986

NSW Nominated Responsible Architects
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

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Client
City West Housing

LEGEND - ELEVATIONS

- Property Boundary
- Future Footpath Dedication
- Height Limit

Glazing Material & Operation

- Fixed Glass - Clear
- Operable - Sliding
- Operable - Awning
- Operable - Louvres

Current Revision Description

Data Issue Record

Current Revision released by

Rev	Date	Description
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A 17.09.25 DA Issue

Project Title

Banksia

First Nations Country

Gadigal

Project Address

20-26 Bourke Rd
Alexandria

Project No.

S12877

Drawing Title

DA09 - Elevations
East Elevation

Phase

Development Application

Status

For Approval

Drawing no.

DA09.002

Scale

As indicated

@ A1

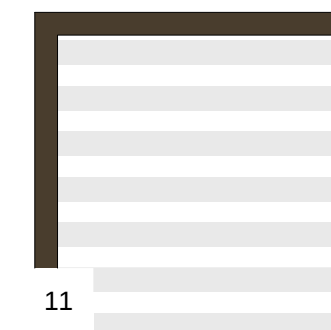
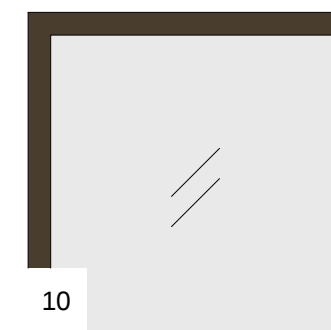
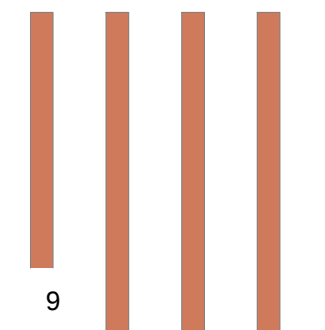
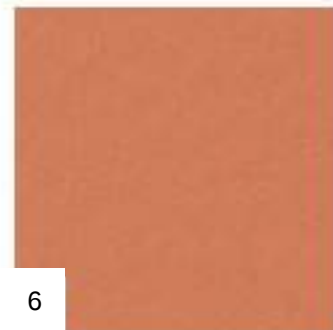
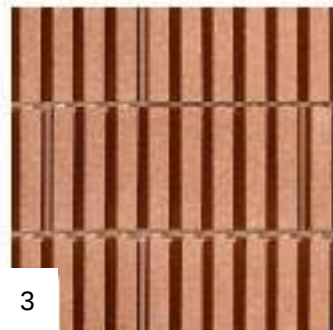
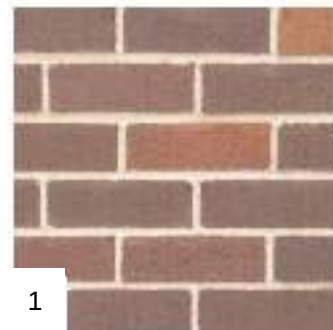
Revision

A



MATERIALS LEGEND

- Red Brick
- White Brick
- Terracotta - toned Blockwork
- Terracotta - toned Breezeblock
- Sand - toned Brick
- Terracotta - toned Aluminium Cladding
- Dark bronze - toned Aluminium Cladding
- In-situ Columns
- Terracotta - toned Aluminium Screening
- Glazing
- Glass Louvres



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Client
City West Housing

LEGEND - ELEVATIONS

Property Boundary
Future Footpath Dedication
Height Limit

Glazing Material & Operation

Fixed Glass - Clear
Operable - Sliding
Operable - Awning
Operable - Louvres

Current Revision Description

Data Issue Record		
Current Revision released by		
Rev	Date	Description

A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA09 - Elevations
West Elevation

Phase
Development Application

Status
For Approval

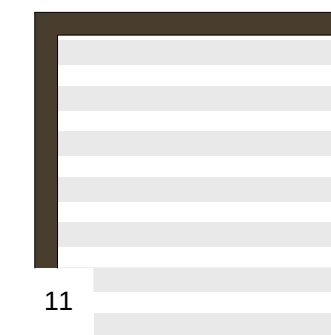
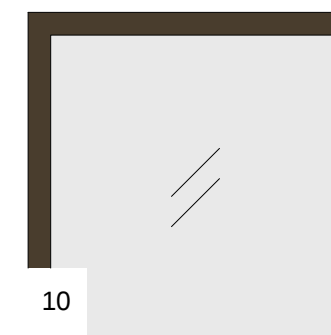
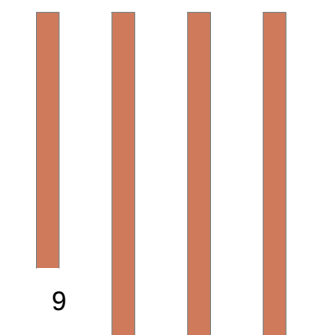
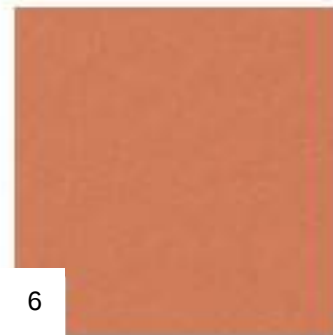
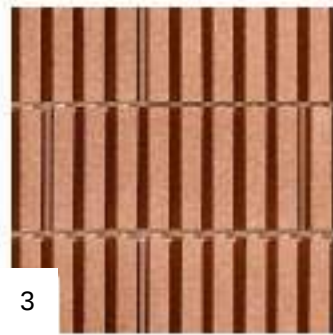
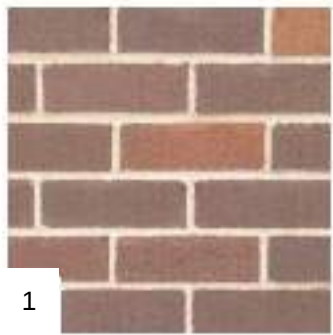
Drawing no.
DA09.003

Scale
As indicated
@ A1
Revision
A



MATERIALS LEGEND

- Red Brick
- White Brick
- Terracotta - toned Blockwork
- Terracotta - toned Breezeblock
- Sand - toned Brick
- Terracotta - toned Aluminium Cladding
- Dark bronze - toned Aluminium Cladding
- In-situ Columns
- Terracotta - toned Aluminium Screening
- Glazing
- Glass Louvres





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City West Housing

Current Revision Description

Data Issue Record		
Current Revision released by		
Rev	Date	Description

A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA10 - Sections
Section 01

Phase
Development Application

Status
For Approval

Drawing no.
DA10.001

Scale
1 : 200 @ A1

Revision
A





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Current Revision Description

Data Issue Record		
Current Revision released by		
Rev	Date	Description

A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA10 - Sections
Section 02

Phase
Development Application

Status
For Approval

Scale
1 : 200 @ A1

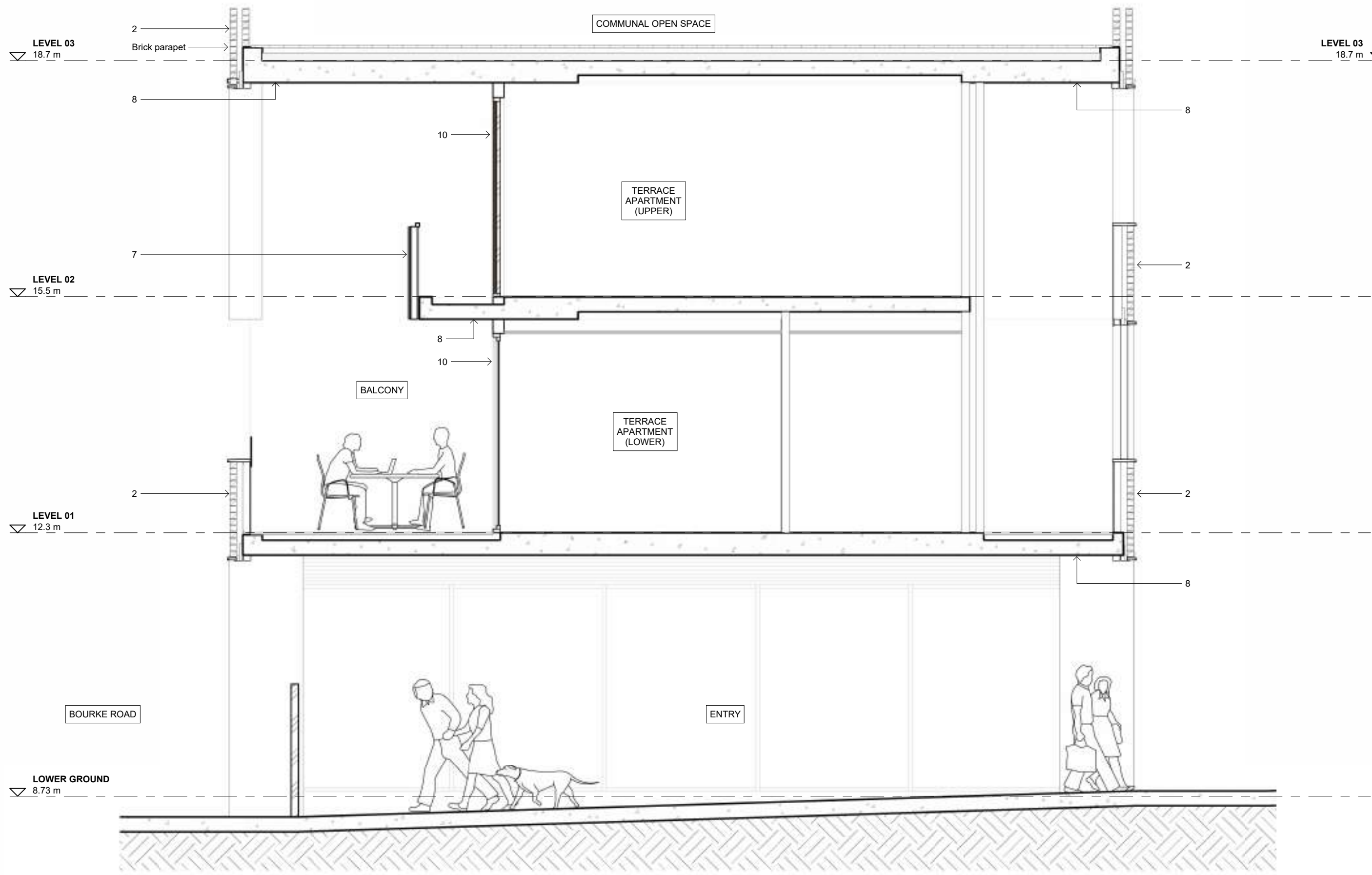
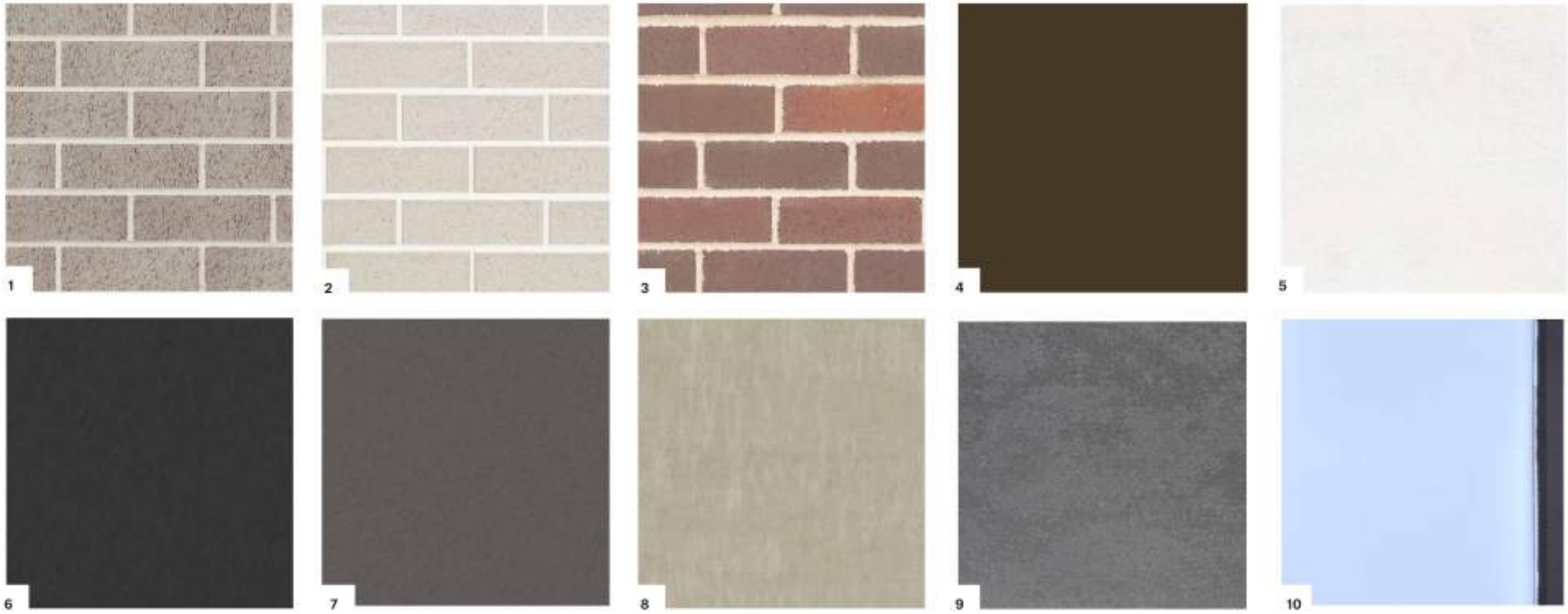
Drawing no.
DA10.002

Revision
A

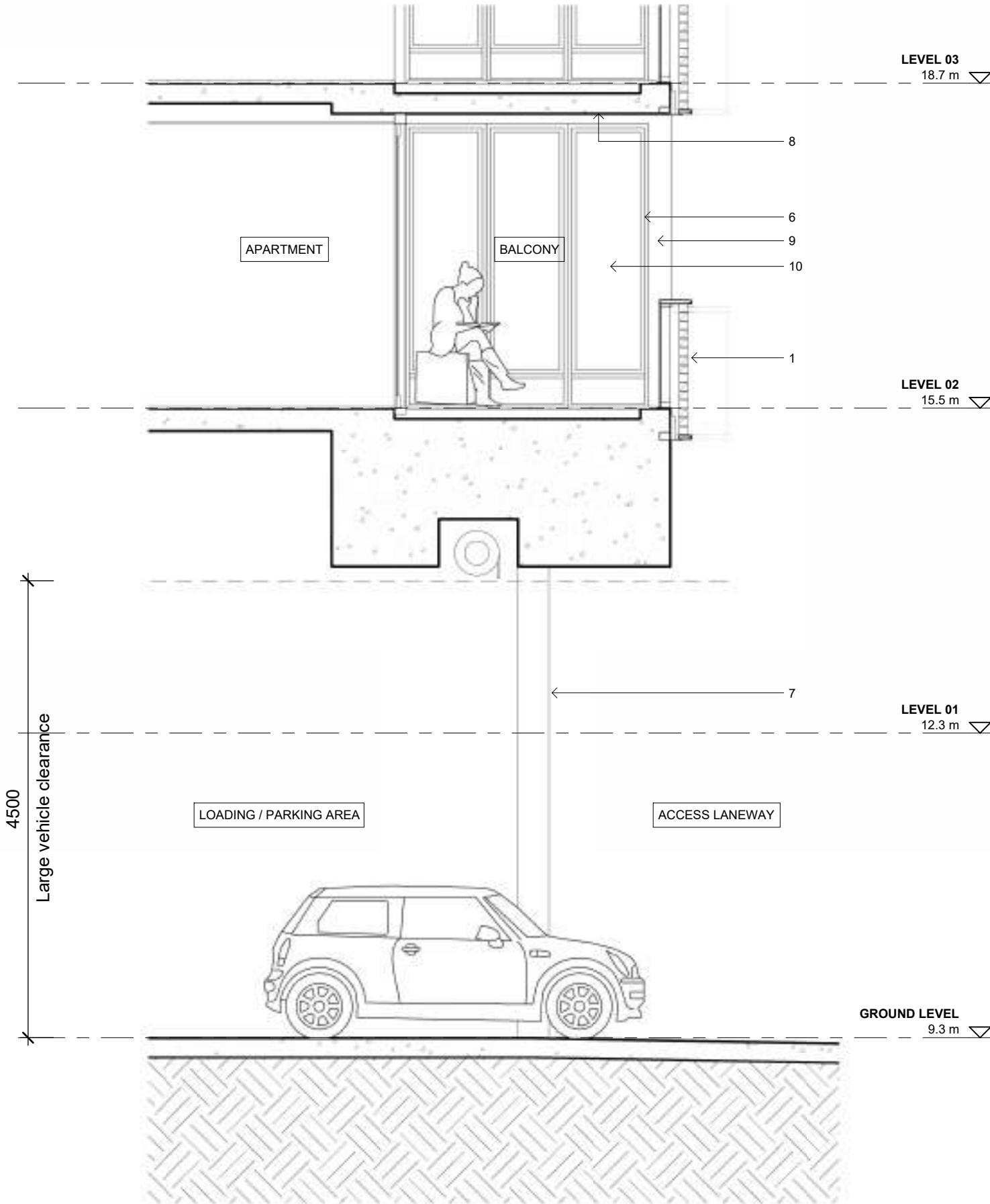




1. Sandy-tone brick to tower spandrel
2. White-tone brick to duplexes
3. Red/brown tone brick to ground level
4. Powdercoated dark bronze aluminium cladding to duplexes
5. Concrete columns to ground
6. Powdercoated aluminium framing - charcoal on tower
7. Powdercoated aluminium framing: dark bronze on podium
8. Concrete look soffit
9. Integral colour FC sheet on balcony return walls
10. Vision glass



2 Facade Section 1
1 : 50



1 Facade Section 2
1 : 50



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City West Housing



Current Revision Description

Data Issue Record		
Current Revision released by		
Rev	Date	Description

B	03.02.26	Amended DA Issue
A	17.09.25	DA Issue

Project Title
Banksia

First Nations Country
Gadigal

Project Address
**20-26 Bourke Rd
Alexandria**

Project No.
S12877

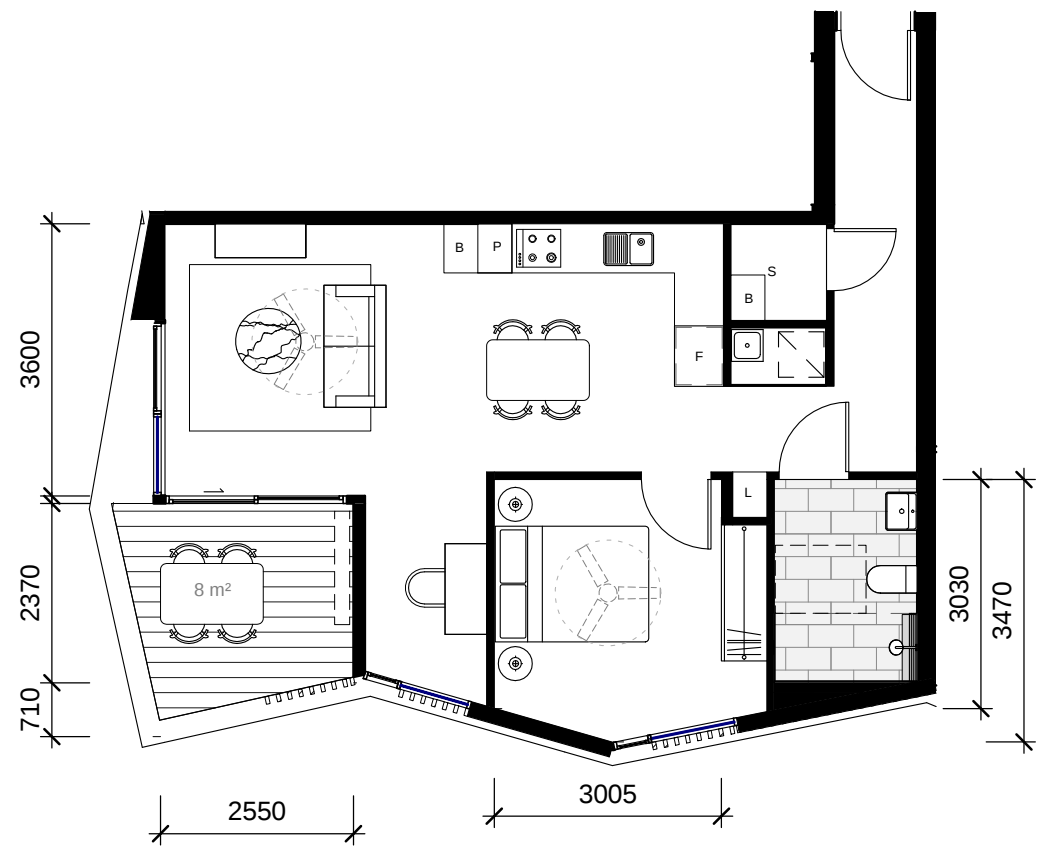
Drawing Title
**DA10 - Sections
Facade Sections**

Phase
Development Application

Status
For Approval

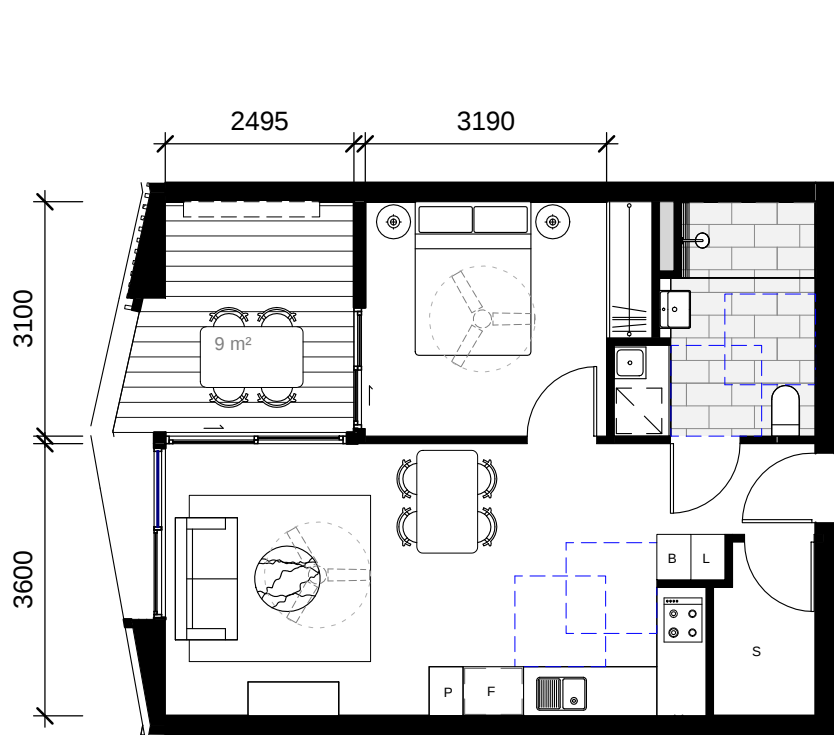
Drawing no.
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Scale
**As indicated
@ A1
Revision
B**



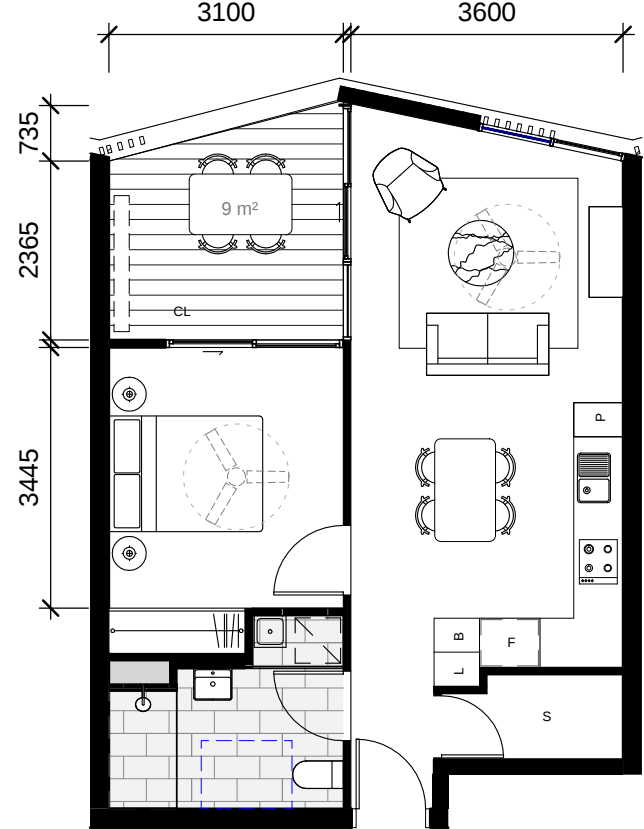
1 TYPE 1B-A
1 : 100

Apartment Type 1B-A						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
1B-A	59m ²	8m ²	Complies	L04-14	22	LH



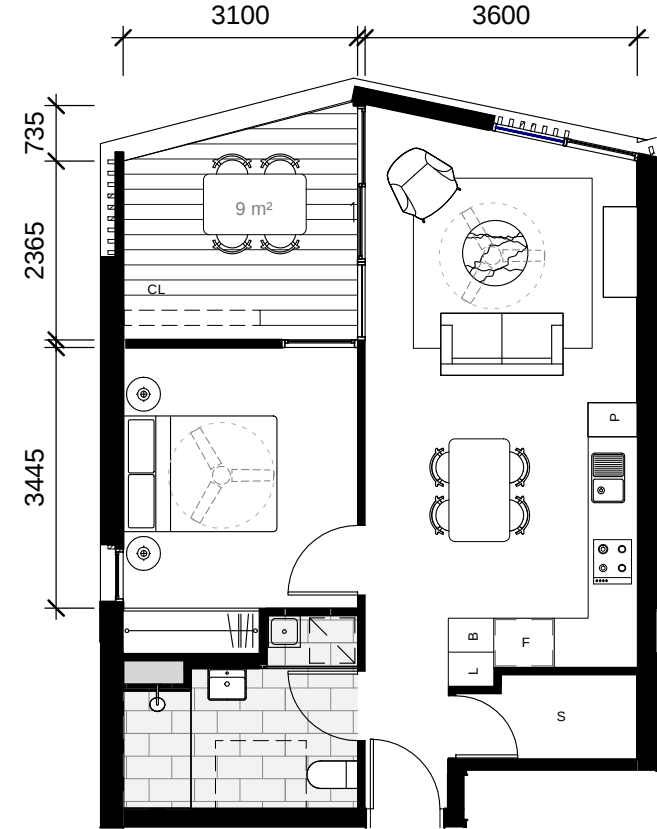
2 TYPE 1B-B
1 : 100

Apartment Type 1B-B						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
1B-B	50m ²	9m ²	Complies	L04-14	11	VS



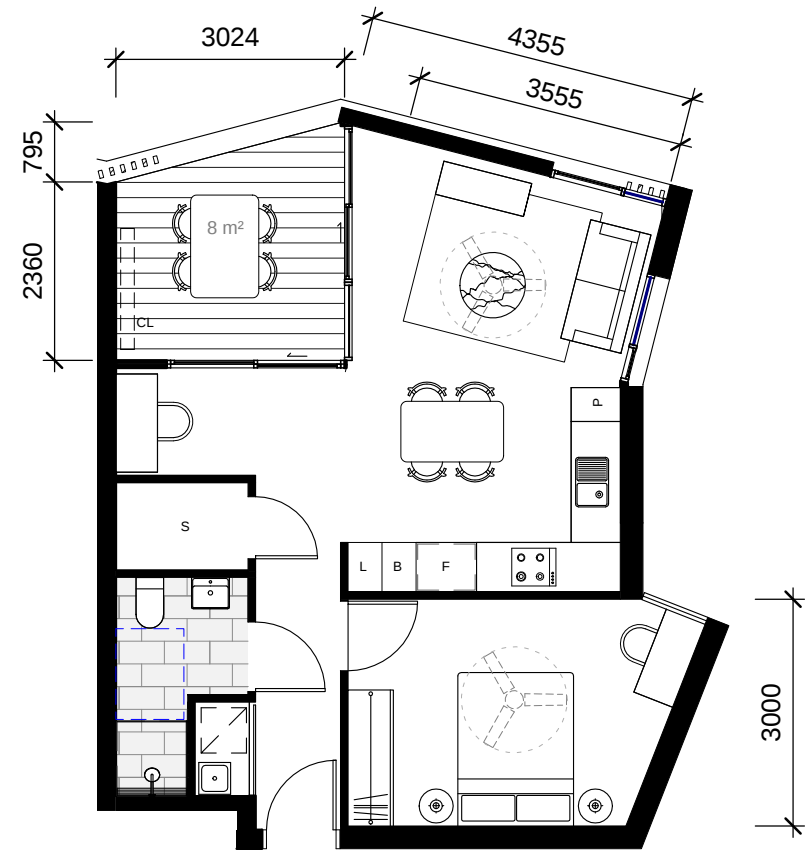
3 TYPE 1B-C
1 : 100

Apartment Type 1B-C						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
1B-C	50m ²	9m ²	Complies	L02-14	26	LH



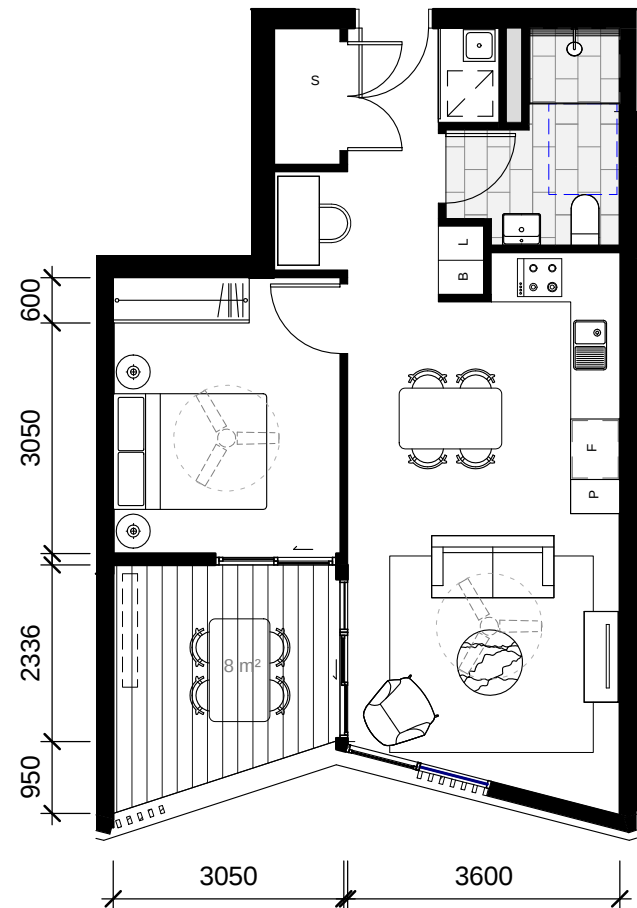
4 TYPE 1B-F
1 : 100

Apartment Type 1B-F						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
1B-F	50m ²	9m ²	Complies	L02-14	13	LH



5 TYPE 1B-D
1 : 100

Apartment Type 1B-D						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
1B-D	52m ²	8m ²	Complies	L02-14	13	LH



6 TYPE 1B-E
1 : 100

Apartment Type 1B-E						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
1B-E	50m ²	8m ²	Complies	L02-14	13	LH



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Bates Smart Architects Pty Ltd
ABN 68 094 740 986

NSW Nominated Responsible Architects
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Client
City West Housing

LEGEND - APARTMENT TYPES

- P Pantry
- S Storage
- L Linen Cupboard
- F Fridge
- B Broom Cupboard
- CL Clothes Line
- CL Ceiling Fan
- LH Livable Housing Design
- VS Livable Housing Design Beyond Voluntary Standard

Current Revision Description

Data Issue Record
Current Revision released by
Rev Date Description

A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal

Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

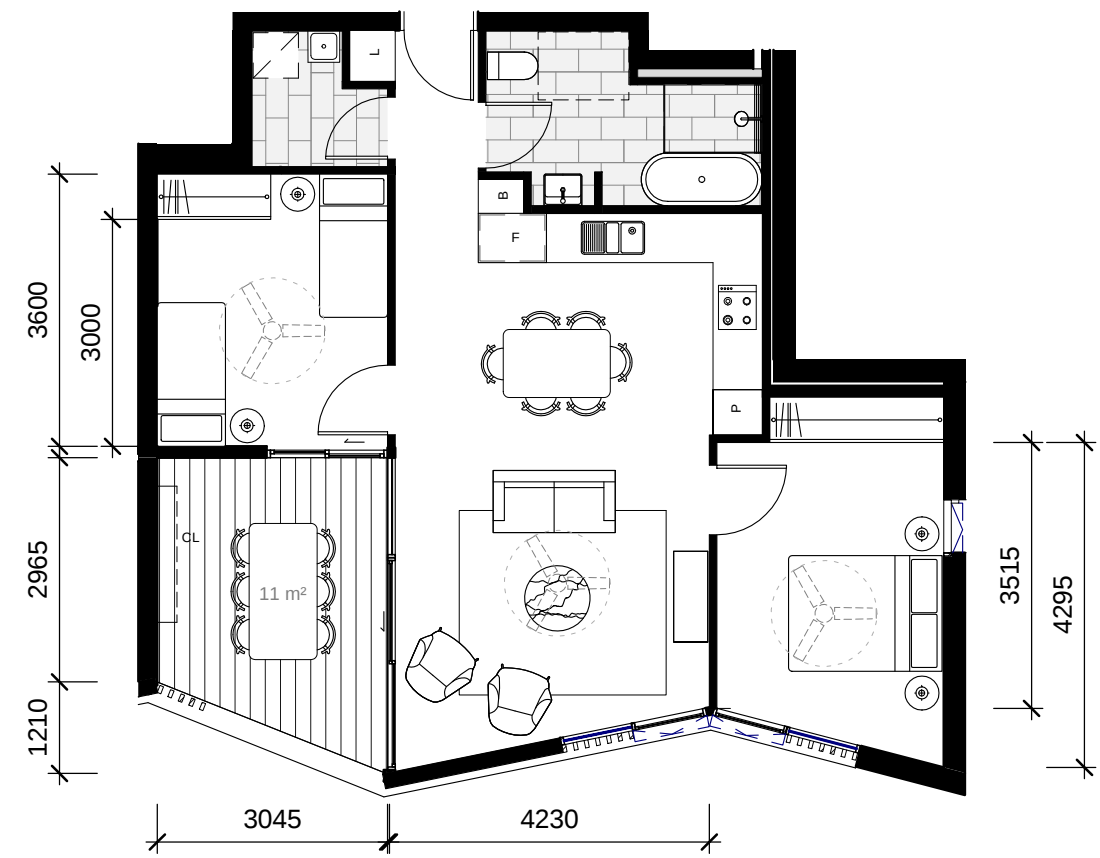
Drawing Title
DA13 - Apartment Types
1 Bed Apartment Types

Phase
Development Application

Status
For Approval

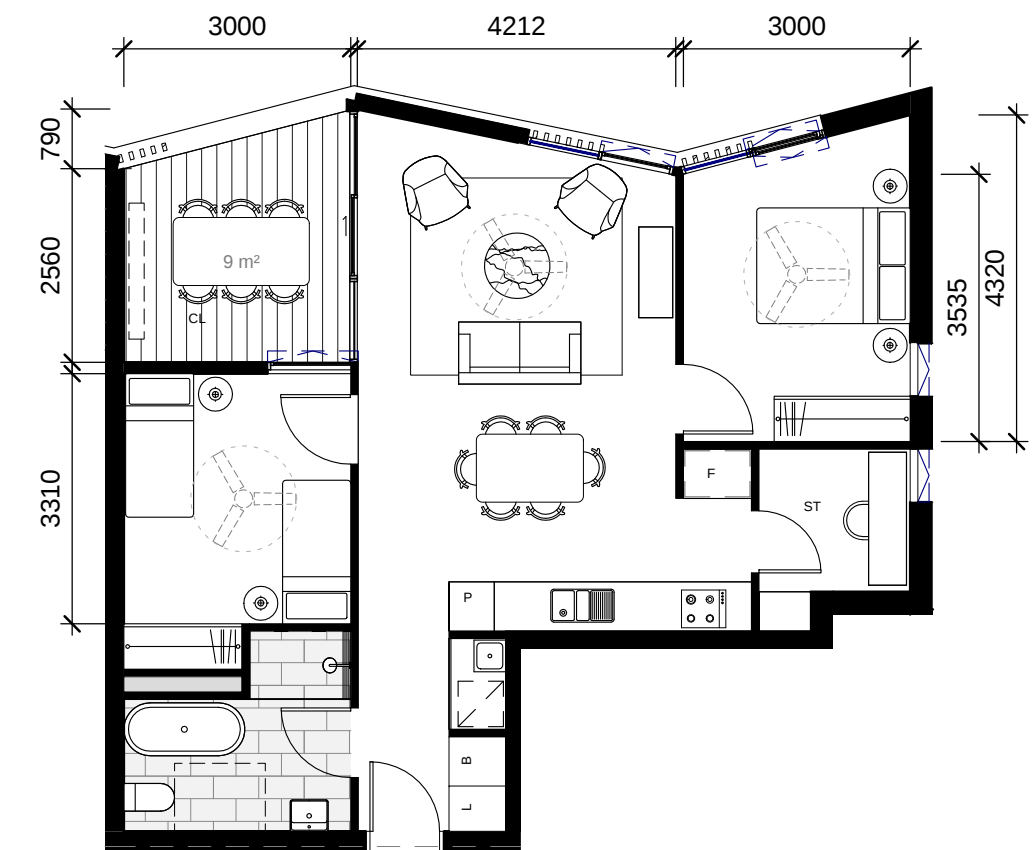
Drawing no.
DA13.010

Scale
As indicated
@ A1
Revision
A



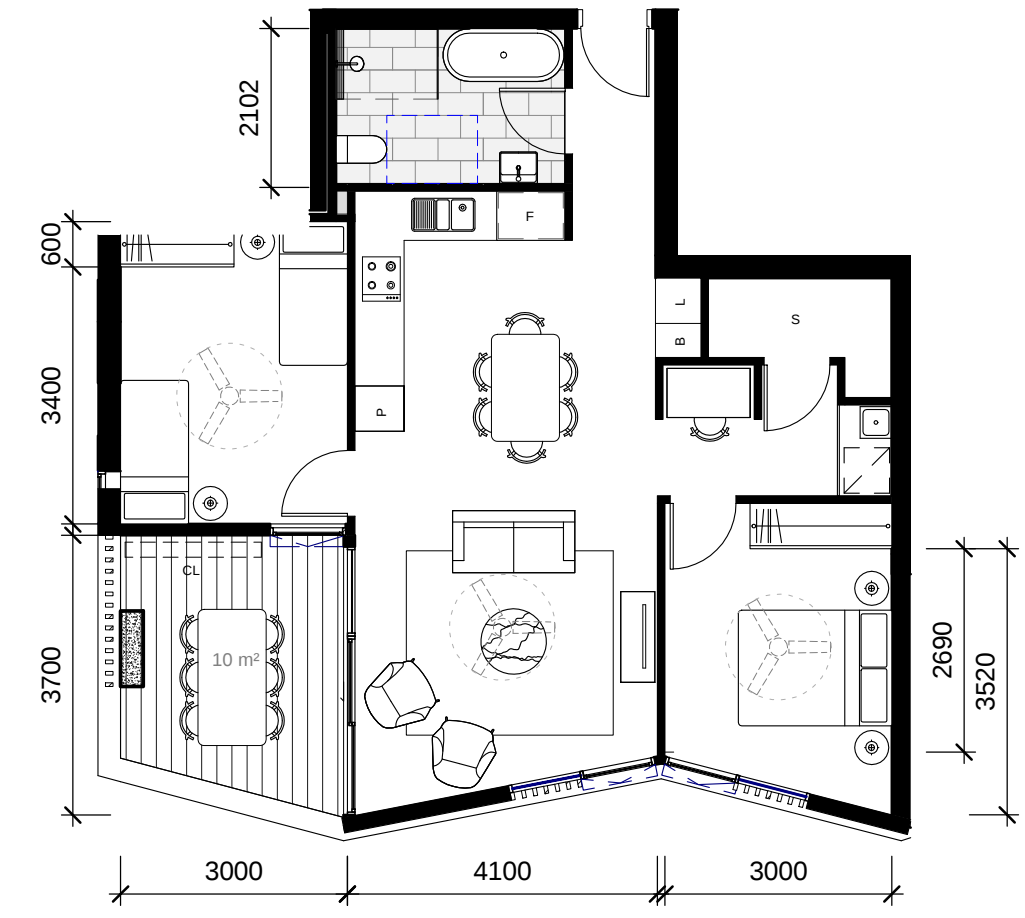
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1 : 100

Apartment Type 2B-A						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
2B-A	74m ²	11m ²	Complies	L02-14	13	LH



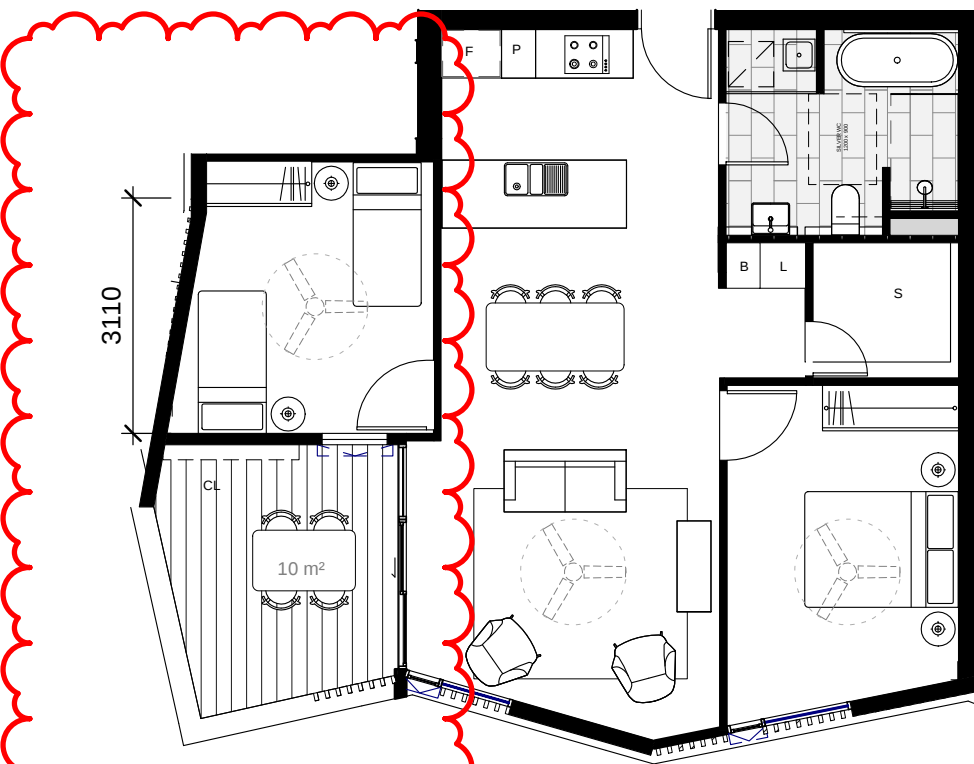
2 TYPE 2B-B
1 : 100

Apartment Type 2B-B						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
2B-B	70 ²	11m ²	Complies	L01-14	14	LH



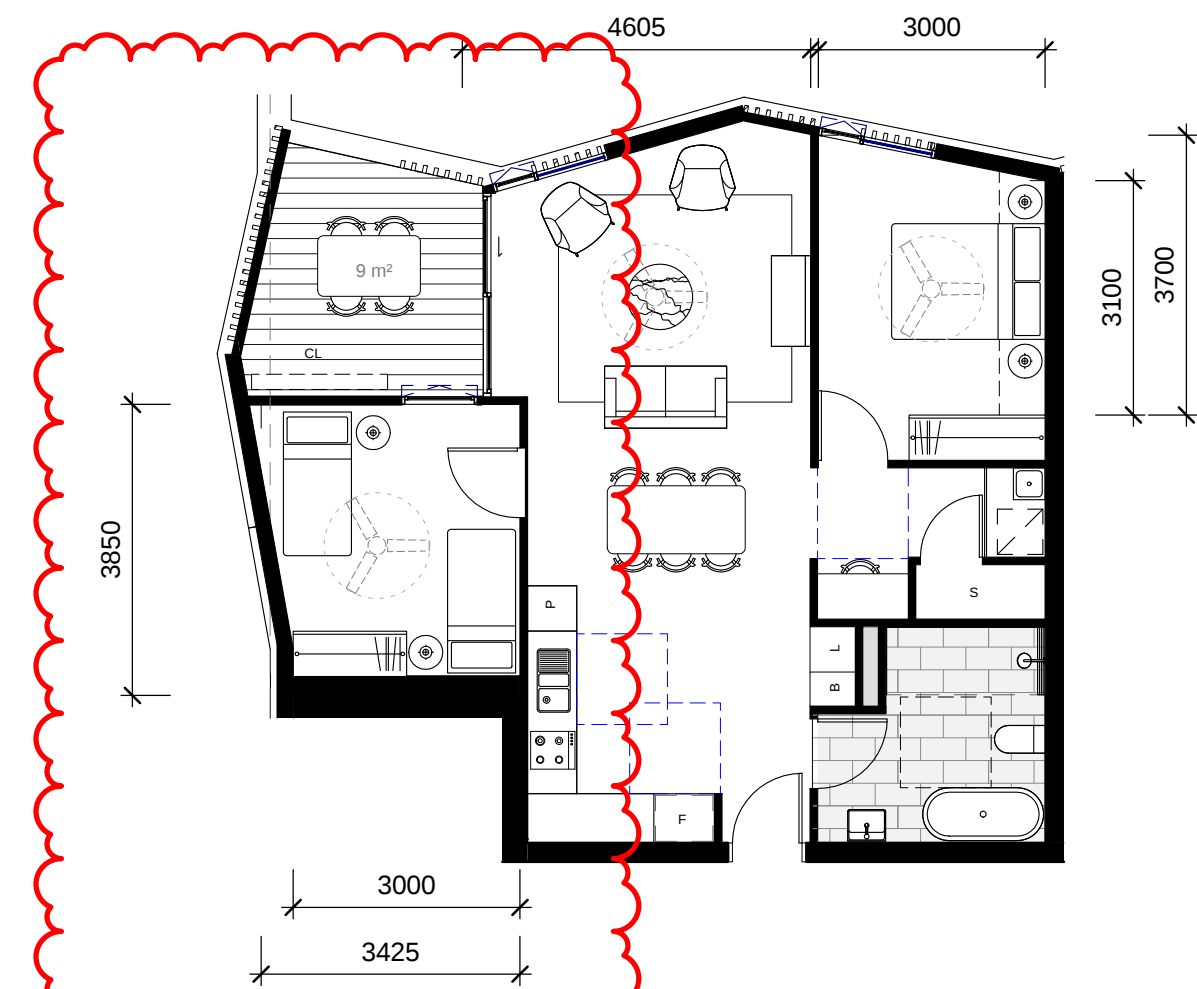
3 TYPE 2B-C
1 : 100

Apartment Type 2B-C						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
2B-C	73m ²	10m ²	Complies	L02-14	13	LH



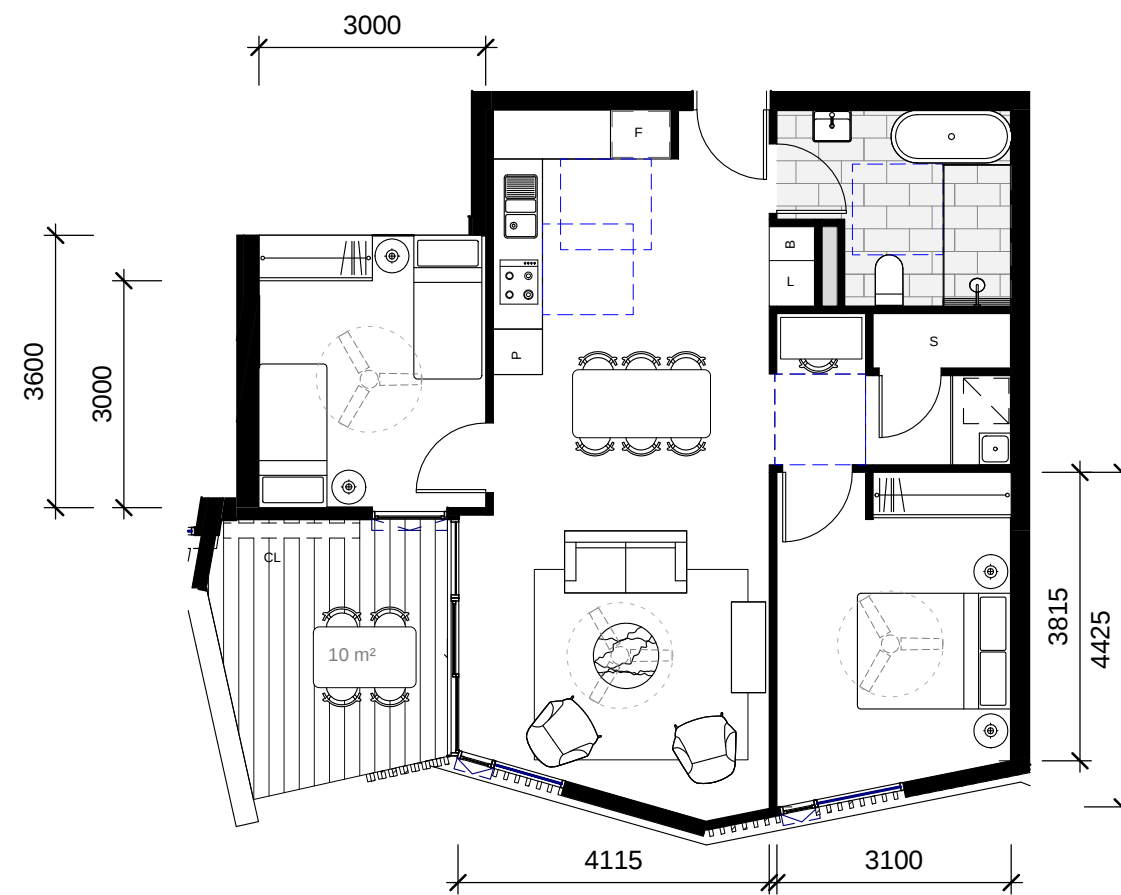
4 TYPE 2B-D
1 : 100

Apartment Type 2B-D						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
2B-D	75m ²	10m ²	Complies	L03-14	12	VS



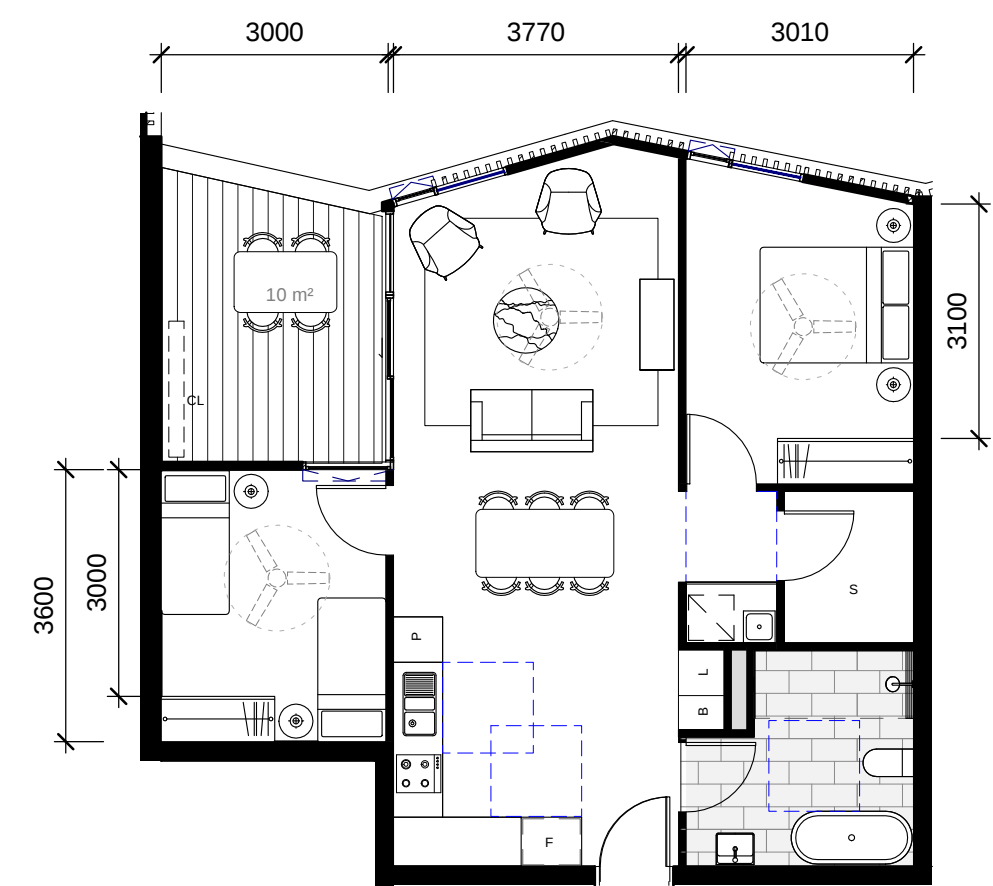
5 TYPE 2B-E
1 : 100

Apartment Type 2B-E						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
2B-E	75m ²	9m ²	Complies	L03	1	VS



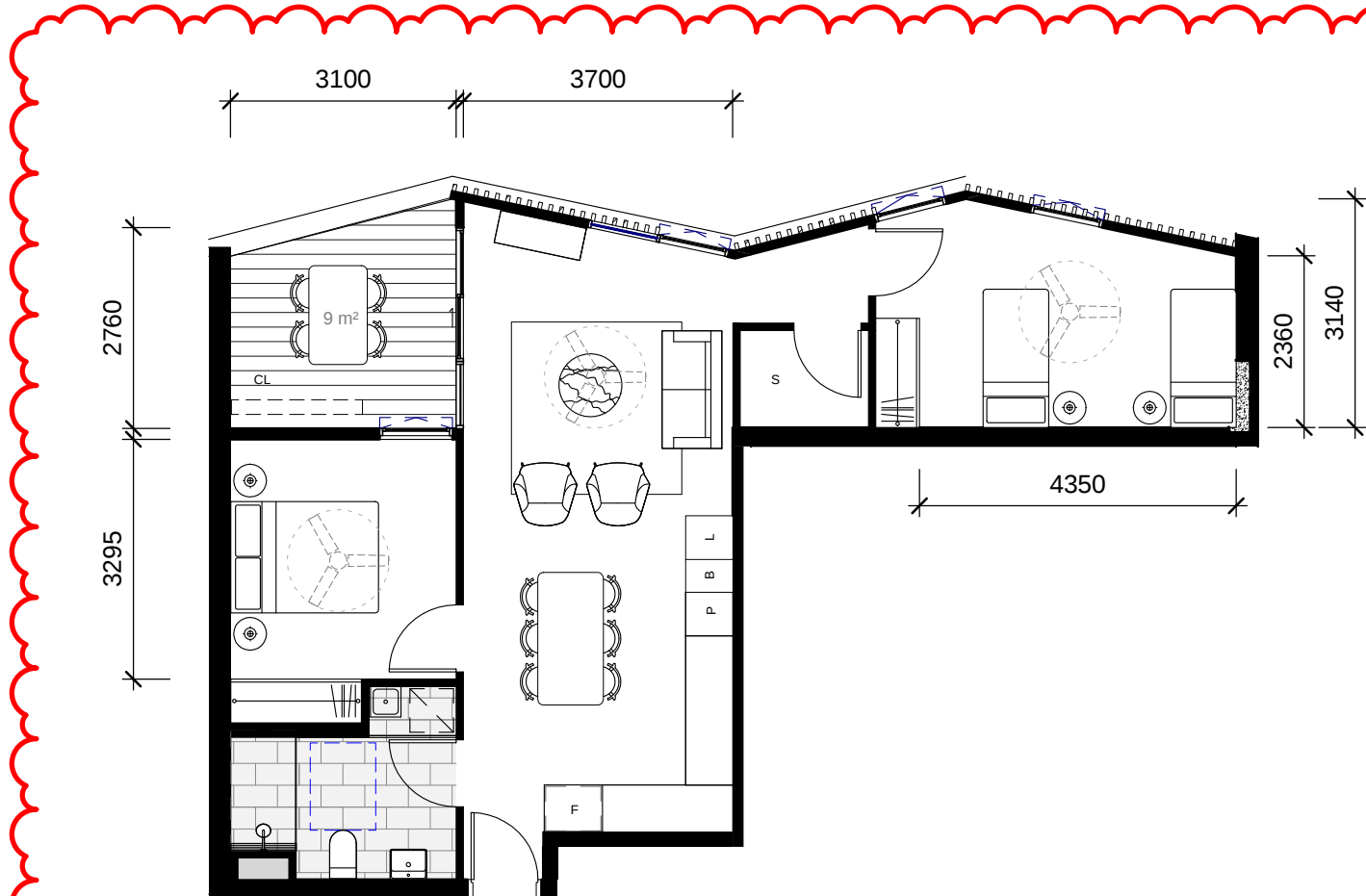
6 TYPE 2B-F
1 : 100

Apartment Type 2B-F						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
2B-F	74m ²	10m ²	Complies	L02	1	VS



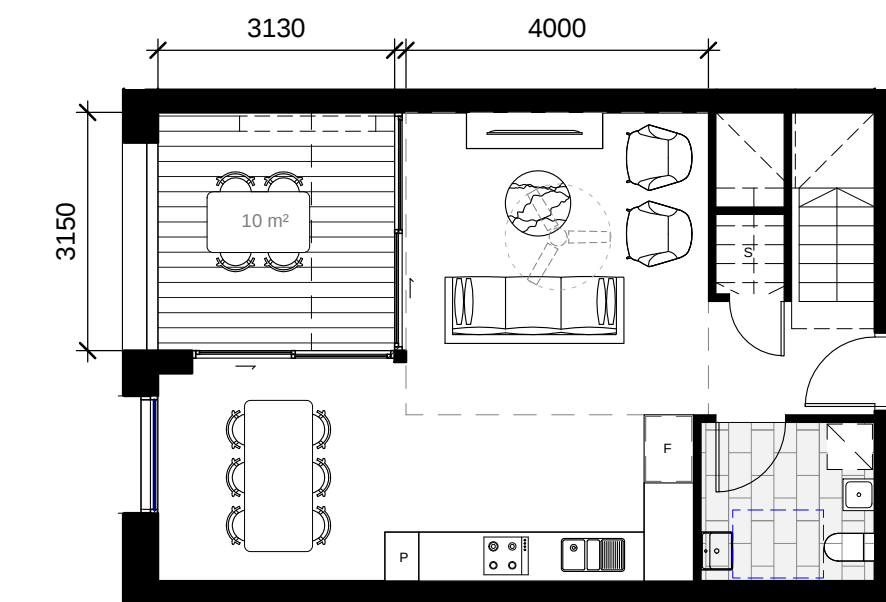
7 TYPE 2B-G
1 : 100

Apartment Type 2B-G						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
2B-G	74m ²	10m ²	Complies	L01-02	2	VS



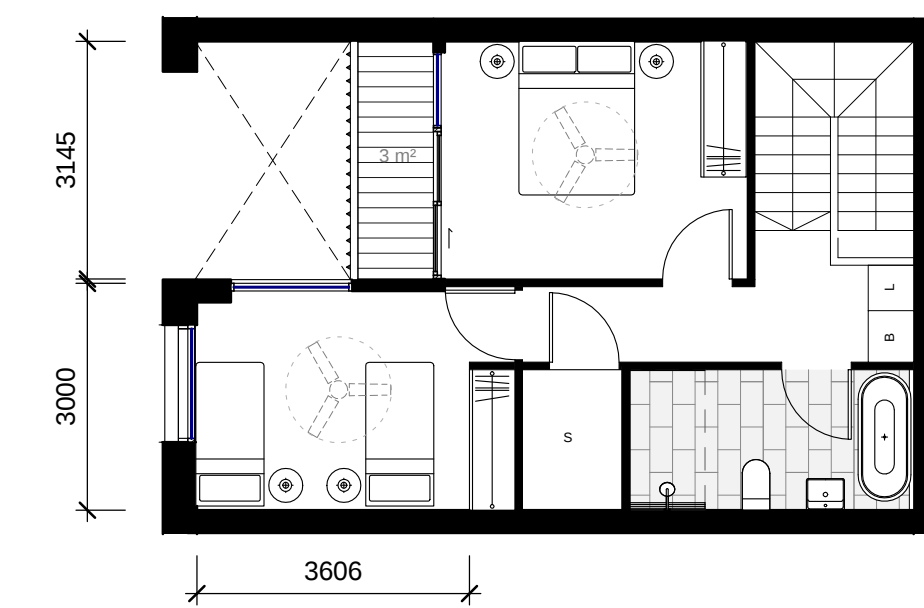
8 TYPE 2B-H
1 : 100

Apartment Type 2B-H						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
2B-H	70m ²	9m ²	Complies	L01	1	LH



9 TYPE 2B-DU1 (LOWER)
1 : 100

Apartment Type 2B-H						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
2B-DU1	91m ²	13m ² (total)	Complies	L01	2	LH



10 TYPE 2B-DU1 (UPPER)
1 : 100



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Bates Smart Architects Pty Ltd
ABN 68 094 740 986

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Client
City West Housing

LEGEND - APARTMENT TYPES

P Pantry
S Storage
L Linen Cupboard
F Fridge
B Broom Cupboard
CL Clothes Line

CL Ceiling Fan

LH Livable Housing Design
VS Livable Housing Design Beyond Voluntary Standard

Current Revision Description

Data Issue Record		
Current Revision released by		
Rev	Date	Description

C	20.03.26	Amended DA Issue
B	03.02.26	Amended DA Issue
A	17.09.25	DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

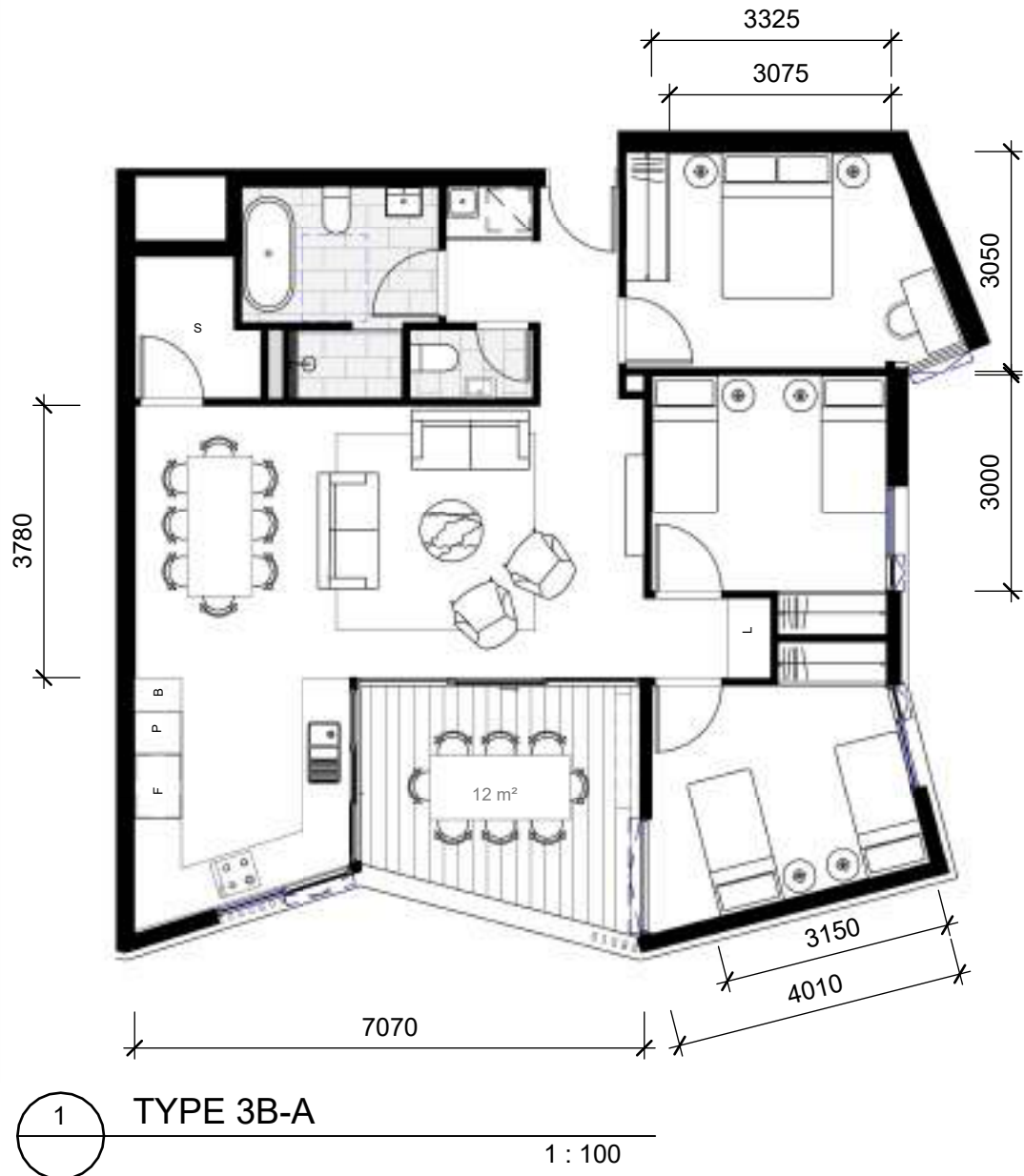
Drawing Title
DA13 - Apartment Types
2 Bed Apartment Types

Phase
Development Application

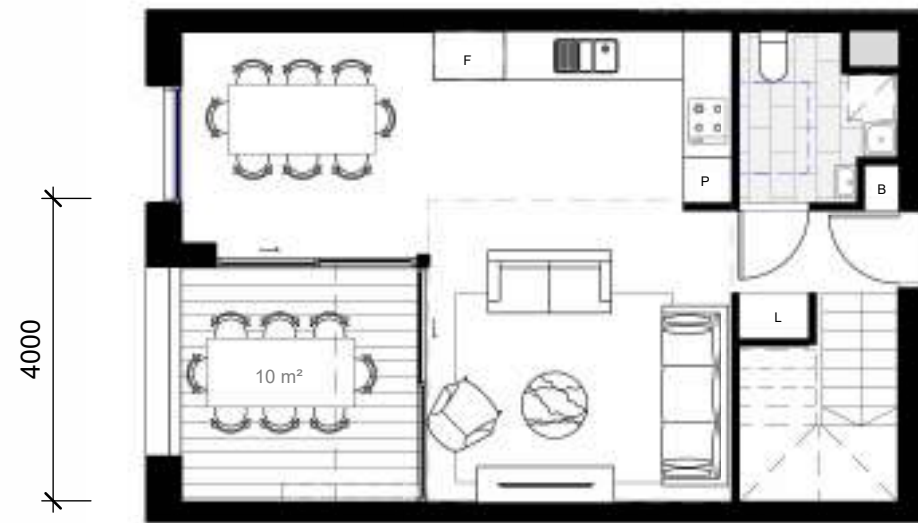
Status
For Approval

Drawing no.
DA13.020

Scale
As indicated
@ A1
Revision
C

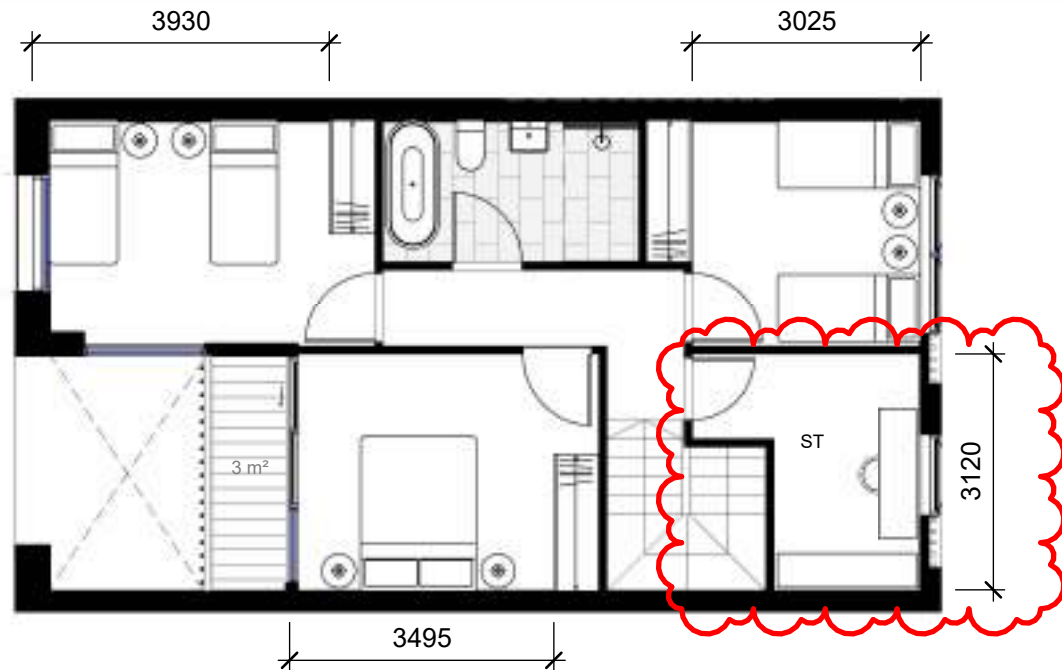


Apartment Type 3B-A						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
3B-A	93m ²	12m ²	Complies	L02-14	13	LH

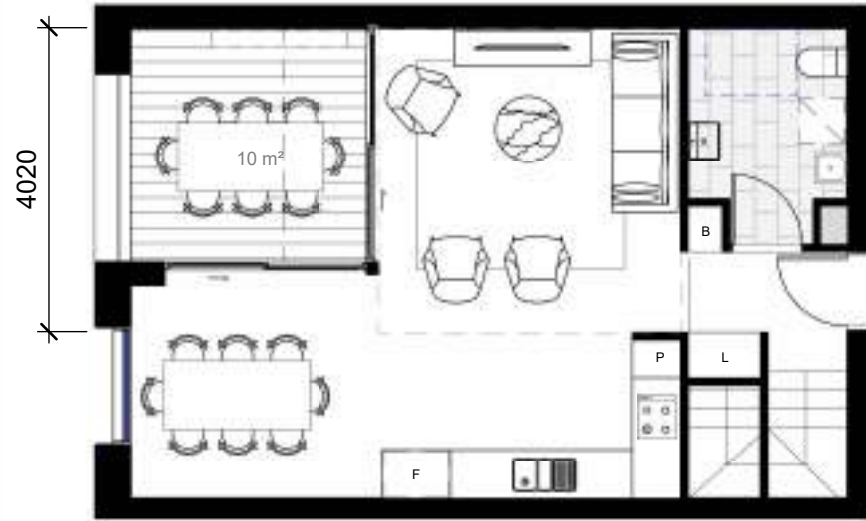


2 TYPE 3B-DU1 (LOWER) 1 : 100

Apartment Type 1B-B						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
3B-DU1	104m ²	13m ² (total)	Complies	L01	1	LH

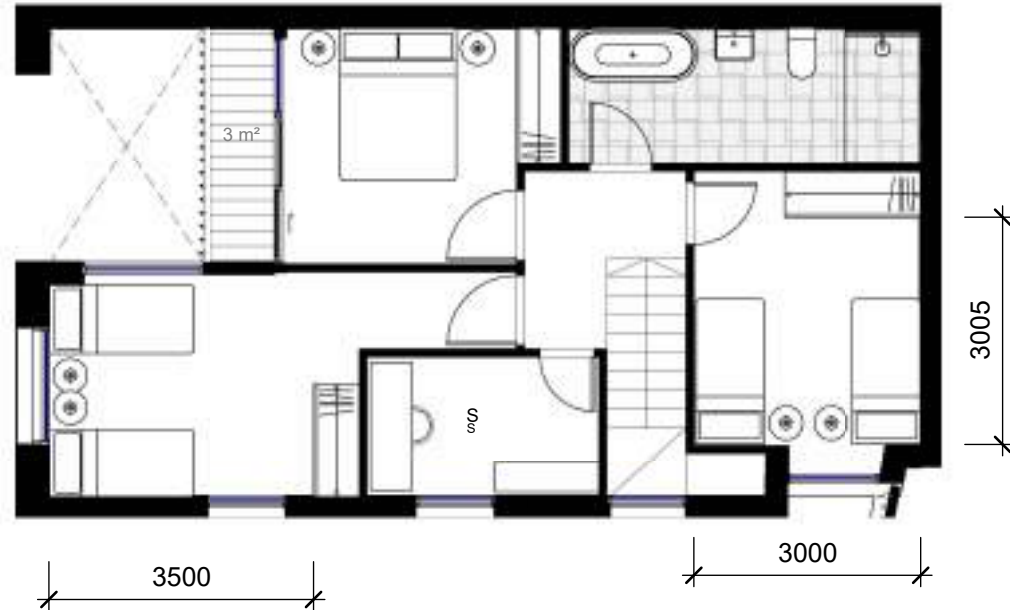


3 TYPE 3B-DU1 (UPPER) 1 : 100



4 TYPE 3B-DU2 (LOWER) 1 : 100

Apartment Type 3B-DU2						
Type	Apartment Area	Balcony Area	Storage Volume	Location	Count	Comments
3B-DU2	105m ²	13m ² (total)	Complies	L01	1	LH



5 TYPE 3B-DU2 (UPPER) 1 : 100



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LEGEND - APARTMENT TYPES

- P Pantry
- S Storage
- L Linen Cupboard
- F Fridge
- B Broom Cupboard
- CL Clothes Line
- Ceiling Fan
- LH Livable Housing Design
- VS Livable Housing Design Beyond Voluntary Standard

Current Revision Description

Data Issue Record		
Current Revision released by		
Rev	Date	Description

B	03.02.26	Amended DA Issue
A	17.09.25	DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

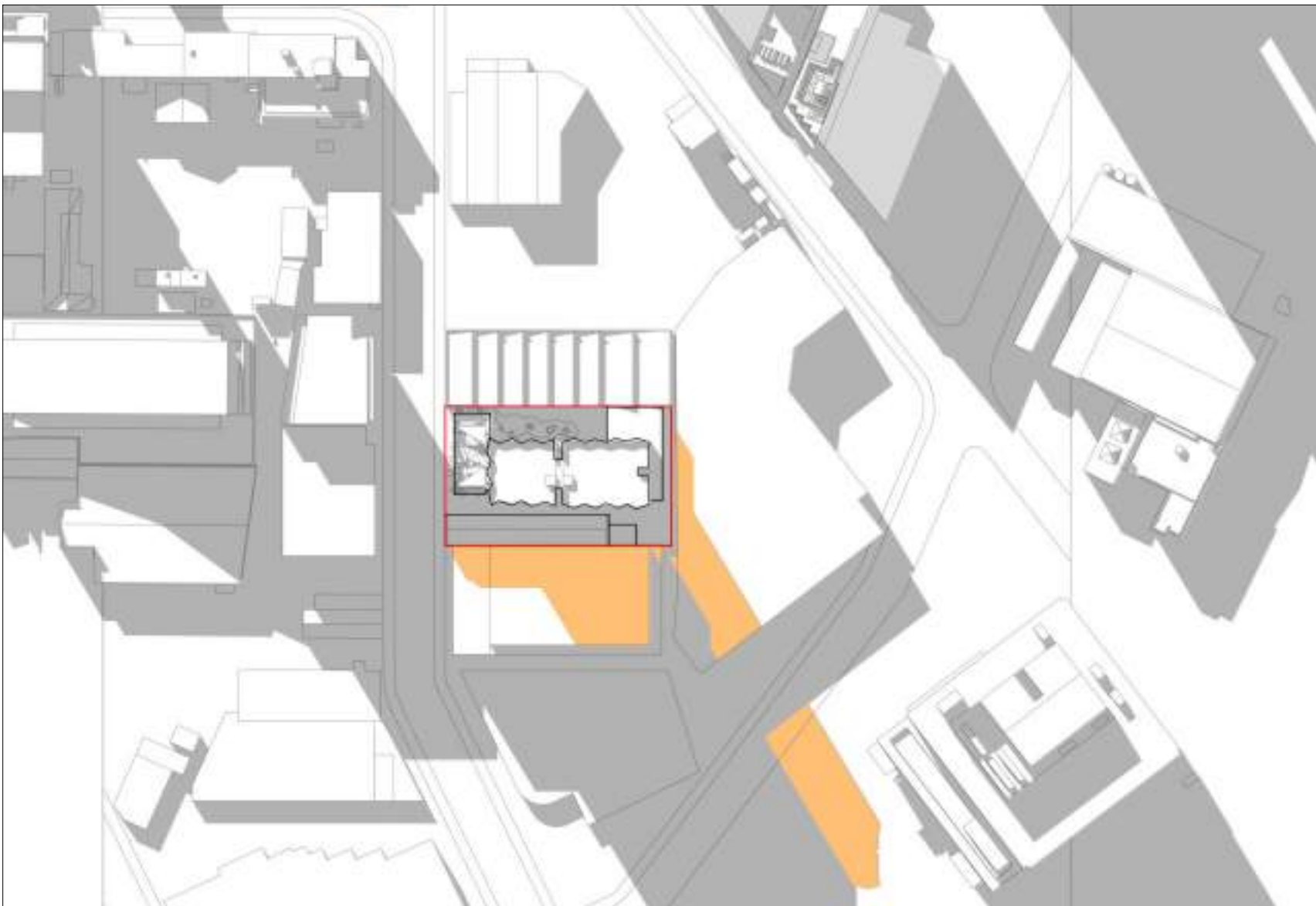
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DA13 - Apartment Types
3 Bed Apartment Types

Phase
Development Application

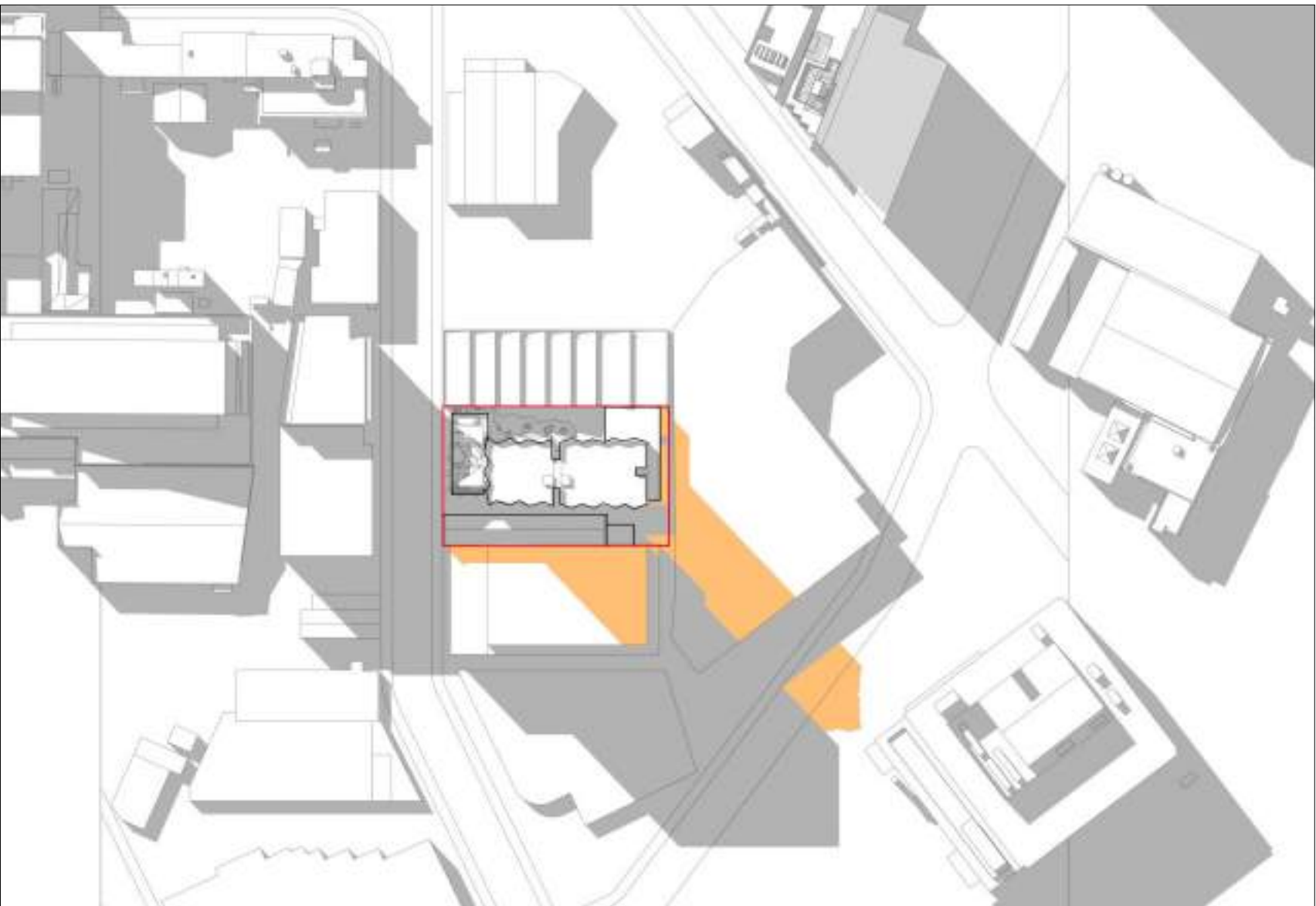
Status
For Approval

Drawing no.
DA13.030

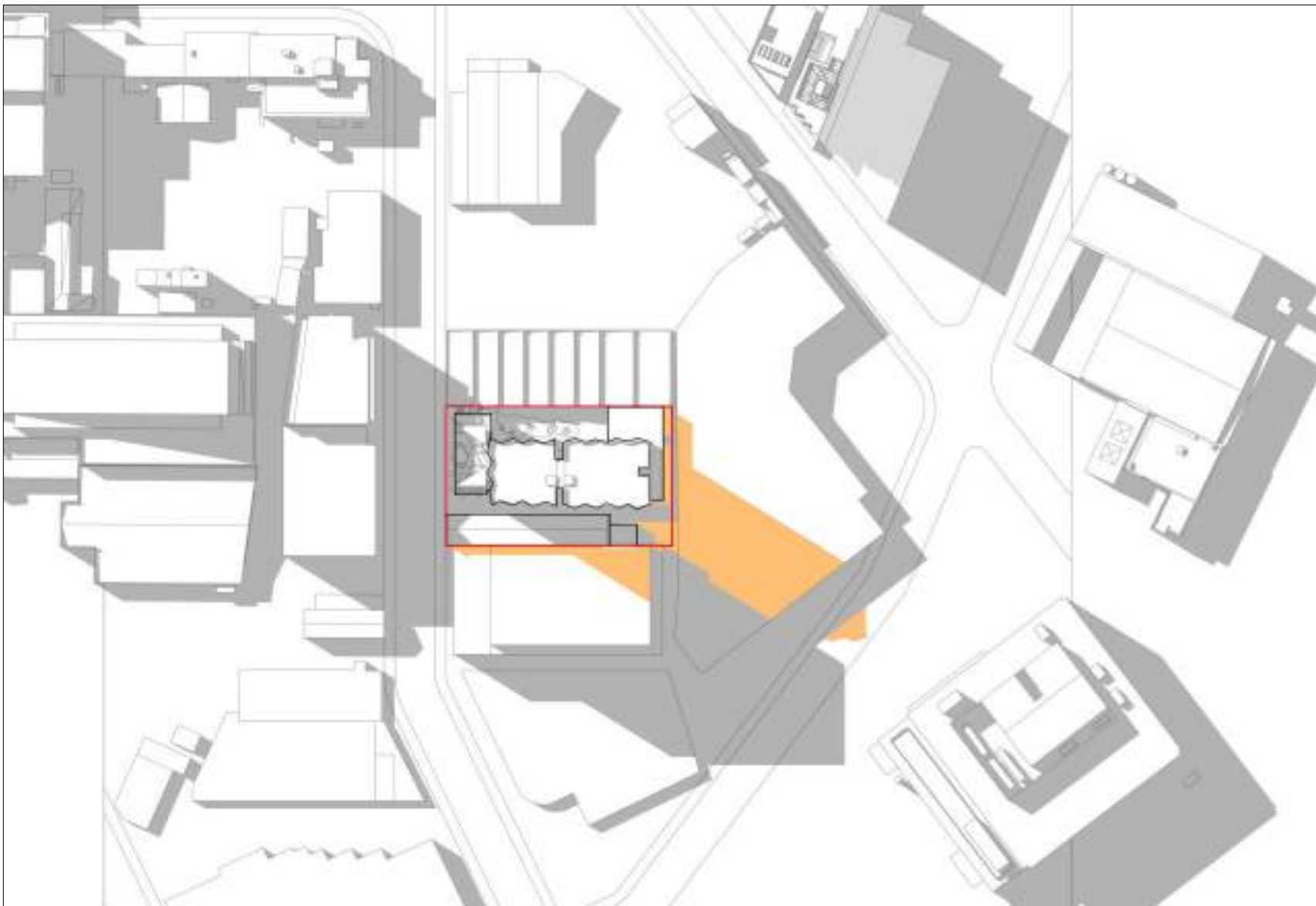
Scale
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@ A1
Revision
B



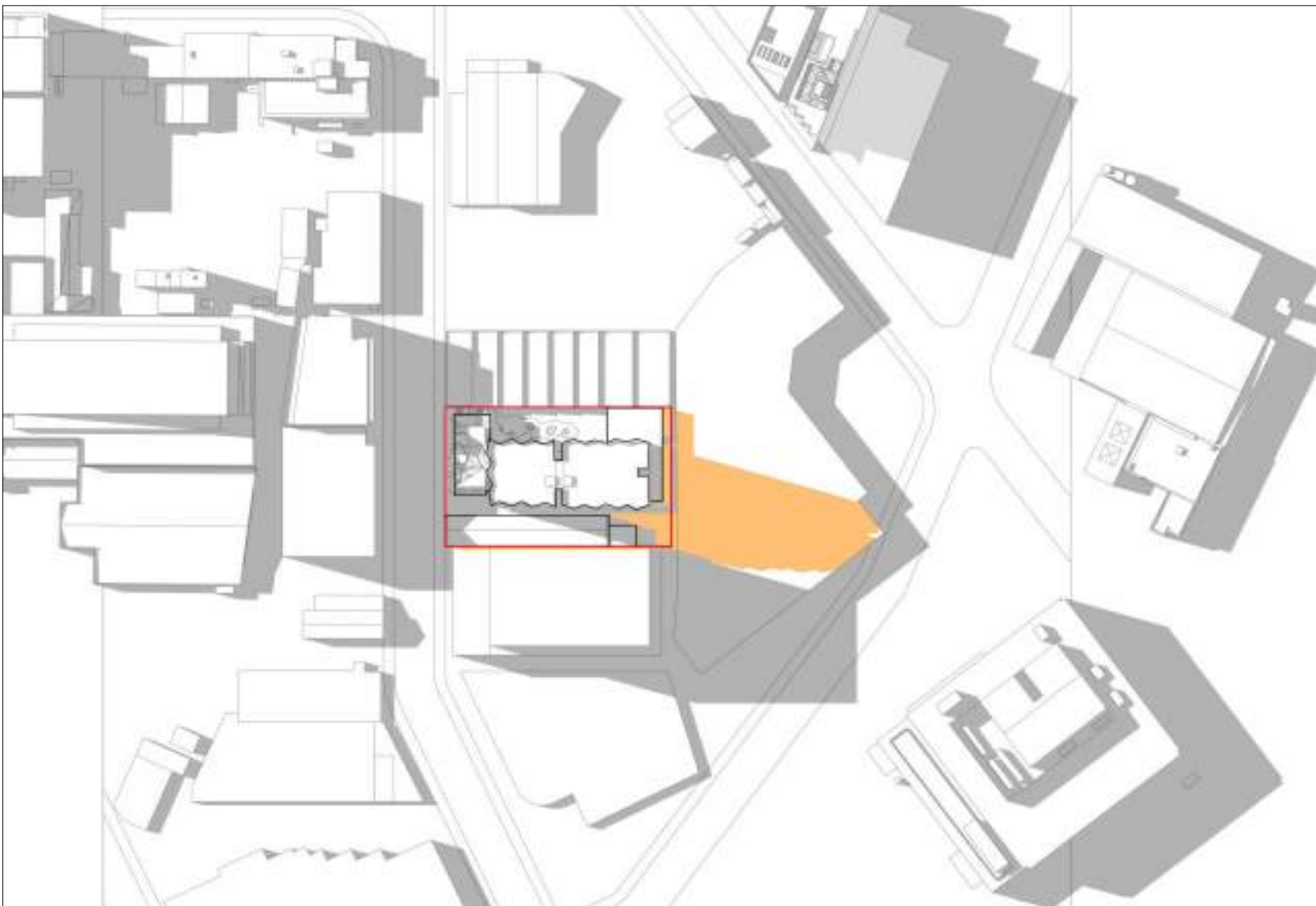
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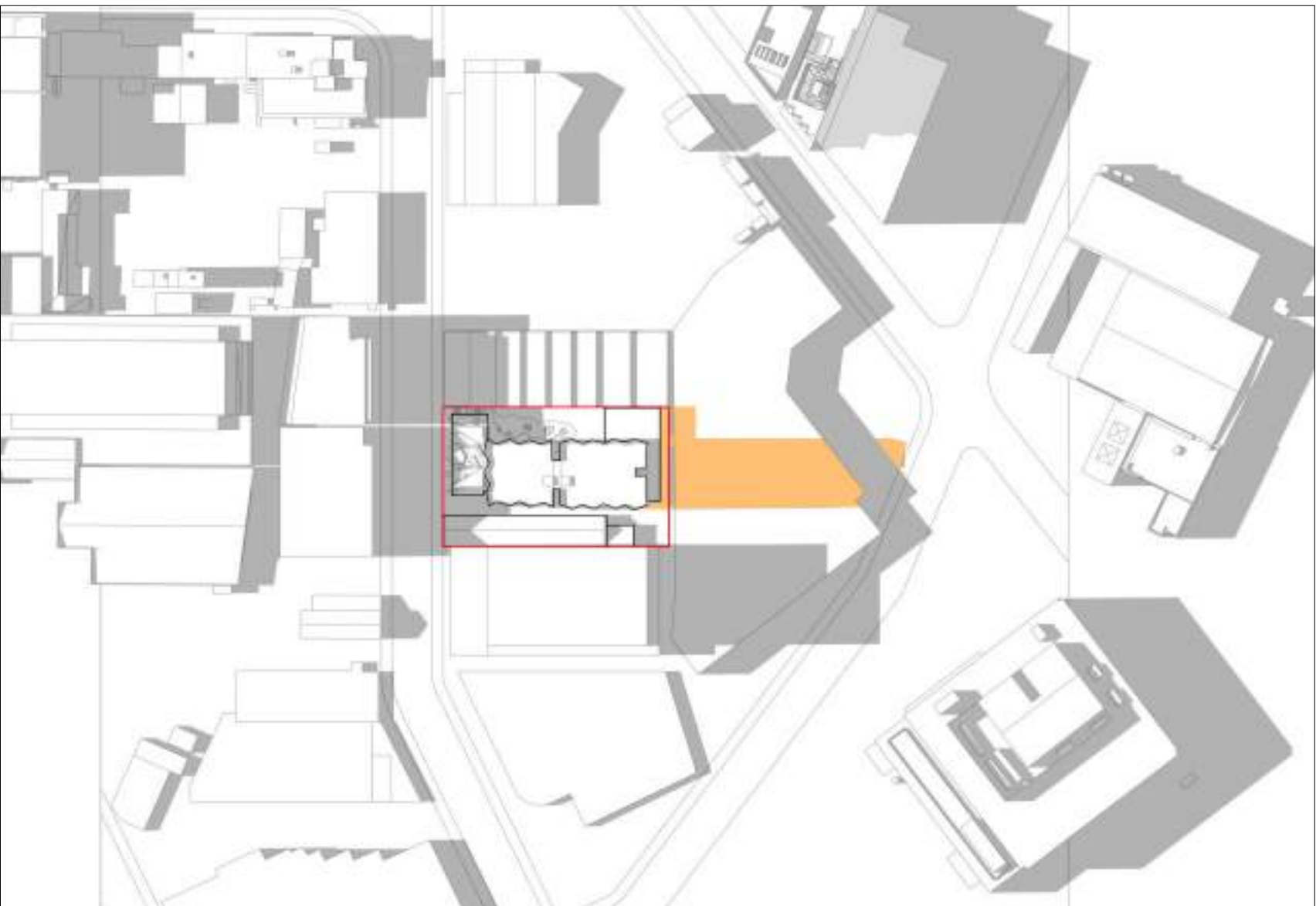
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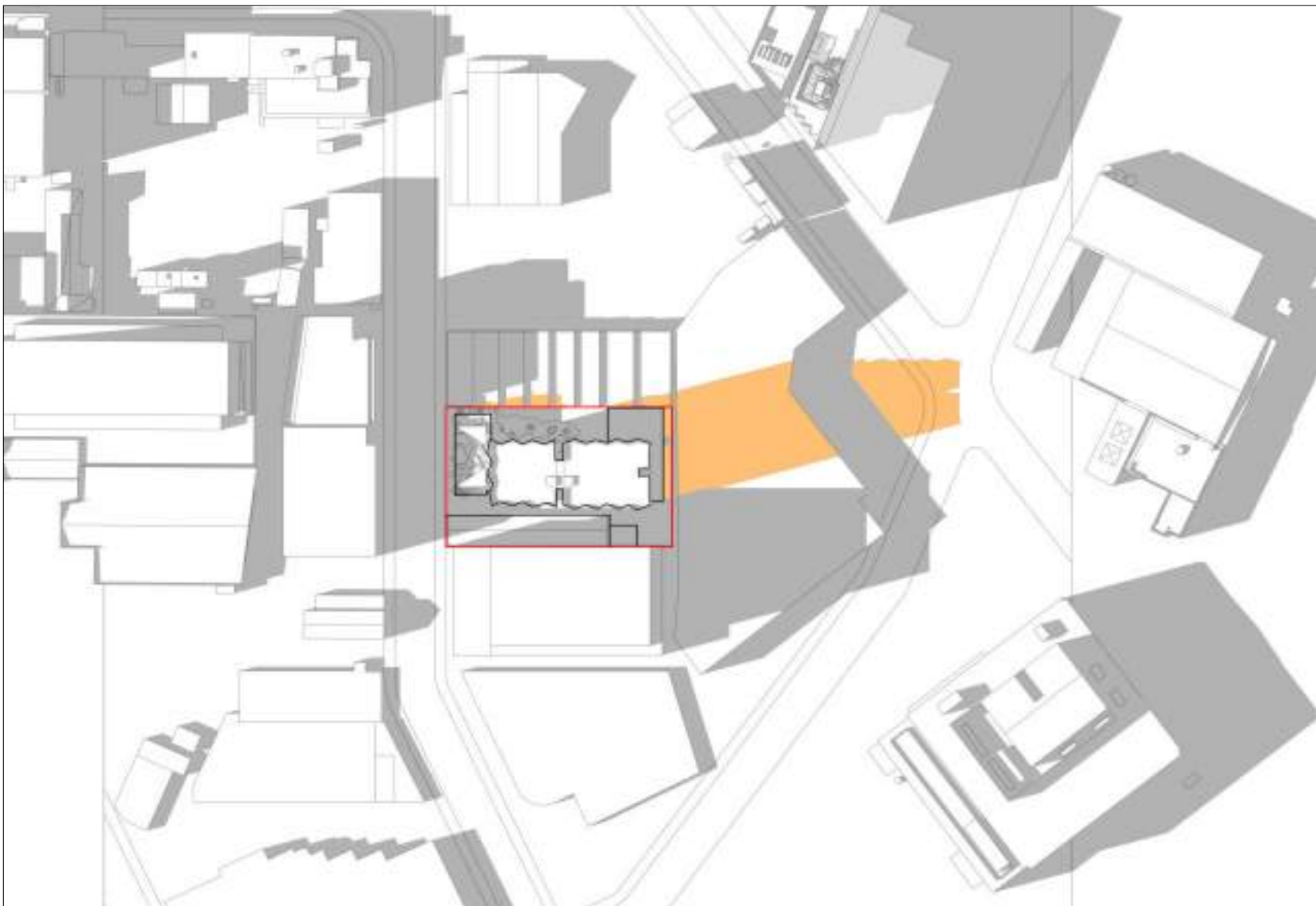
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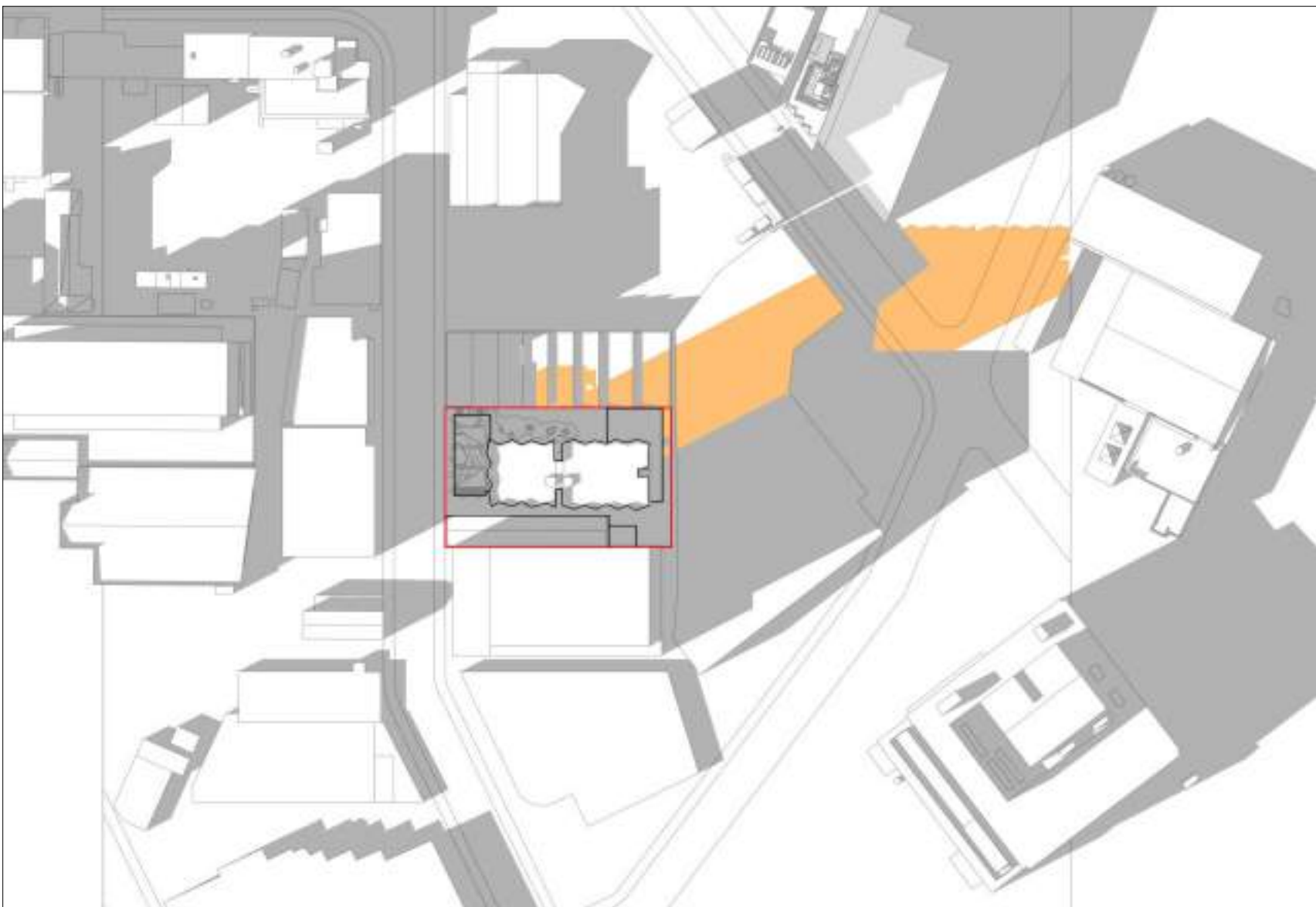
June 21 1200



June 21 1300



June 21 1400



June 21 1500



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LEGEND - OVERSHADOWING

- Property Boundary
- Proposed Shadow at Winter Solstice
- Existing Shadow at Winter Solstice

Current Revision Description

Data Issue Record		
Current Revision released by		
Rev	Date	Description

A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA22 - Compliance
Overshadowing Diagrams

Phase
Development Application

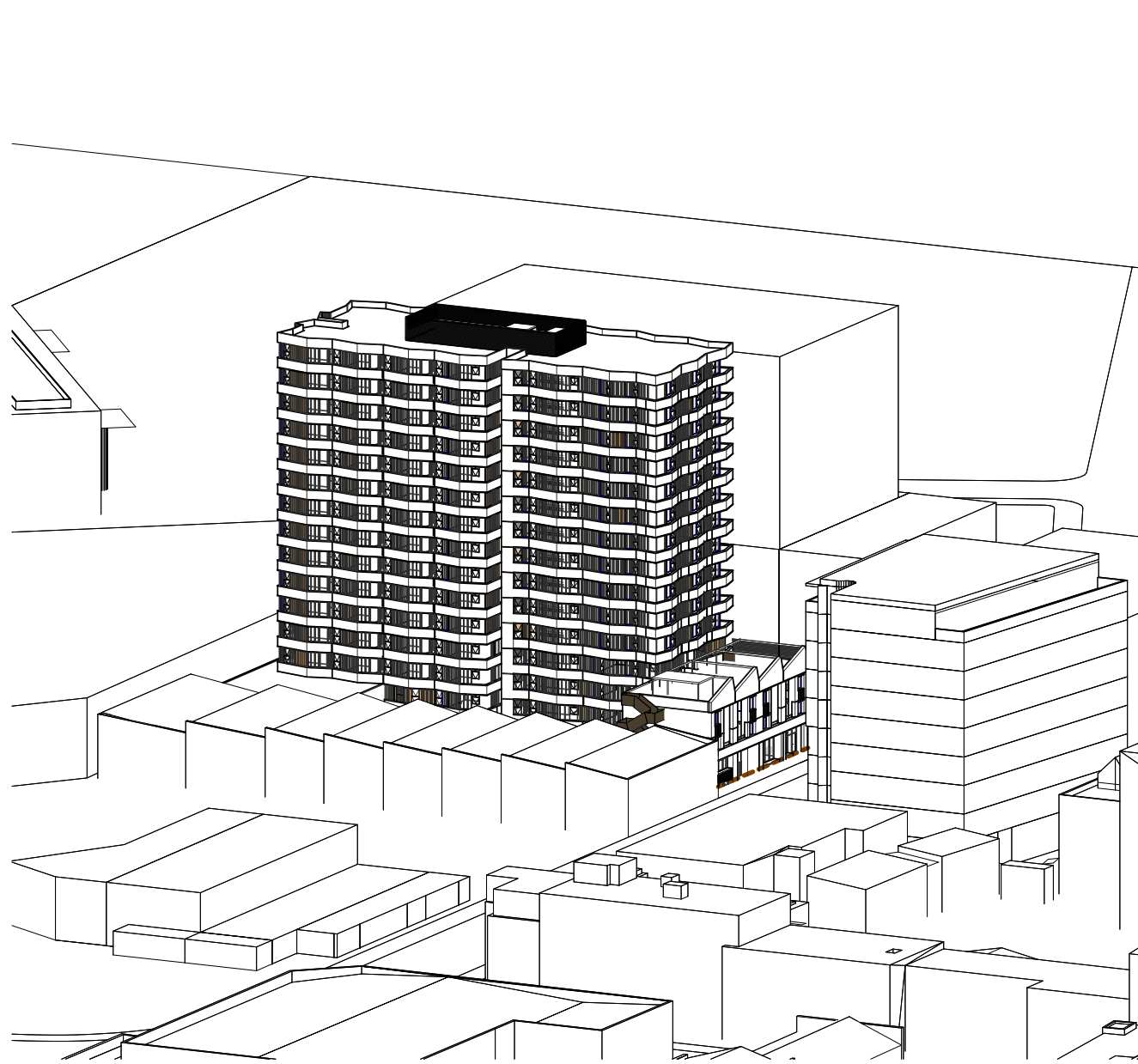
Status
For Approval

Drawing no.
DA22.000

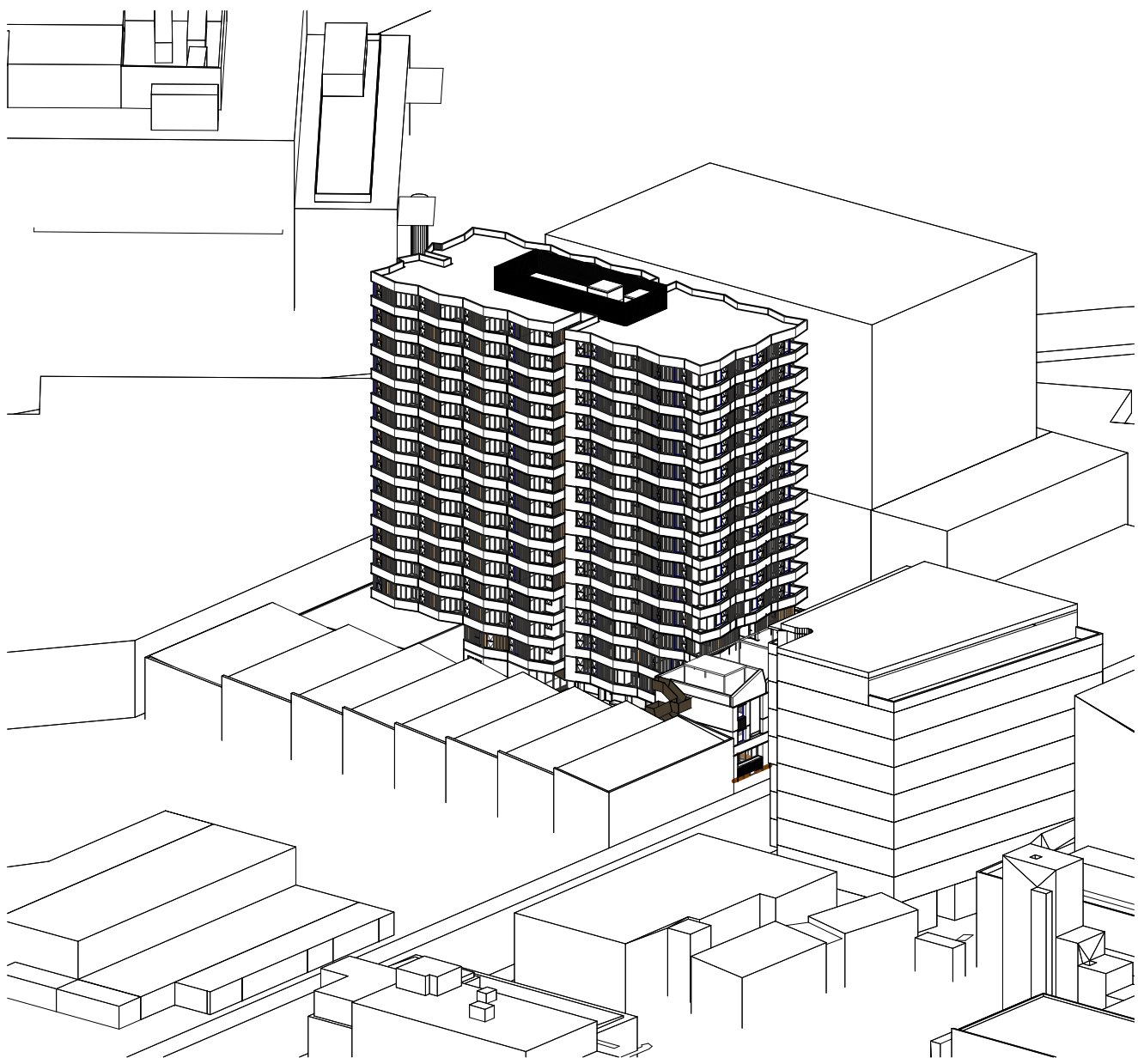
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Revision
A

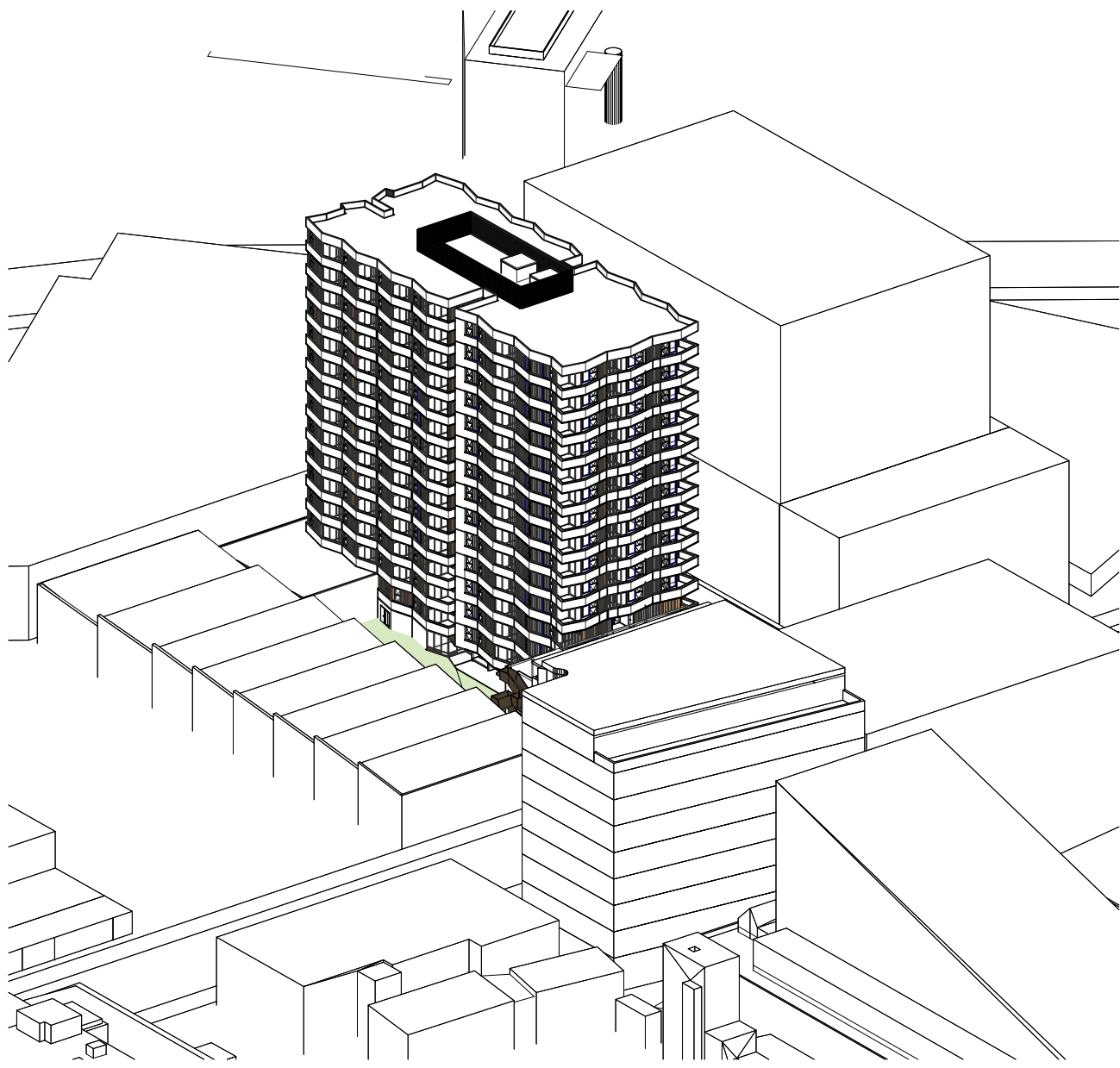




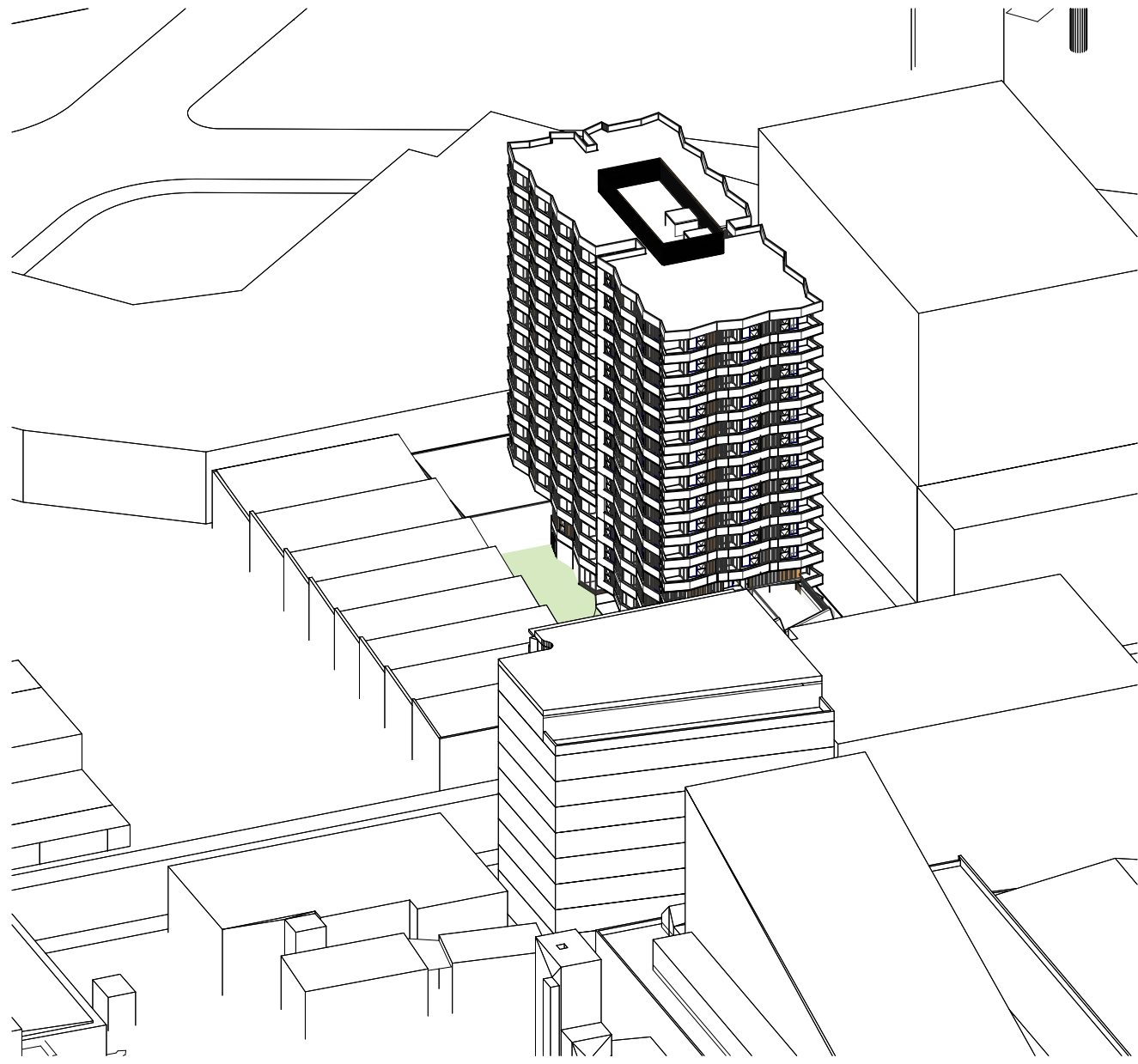
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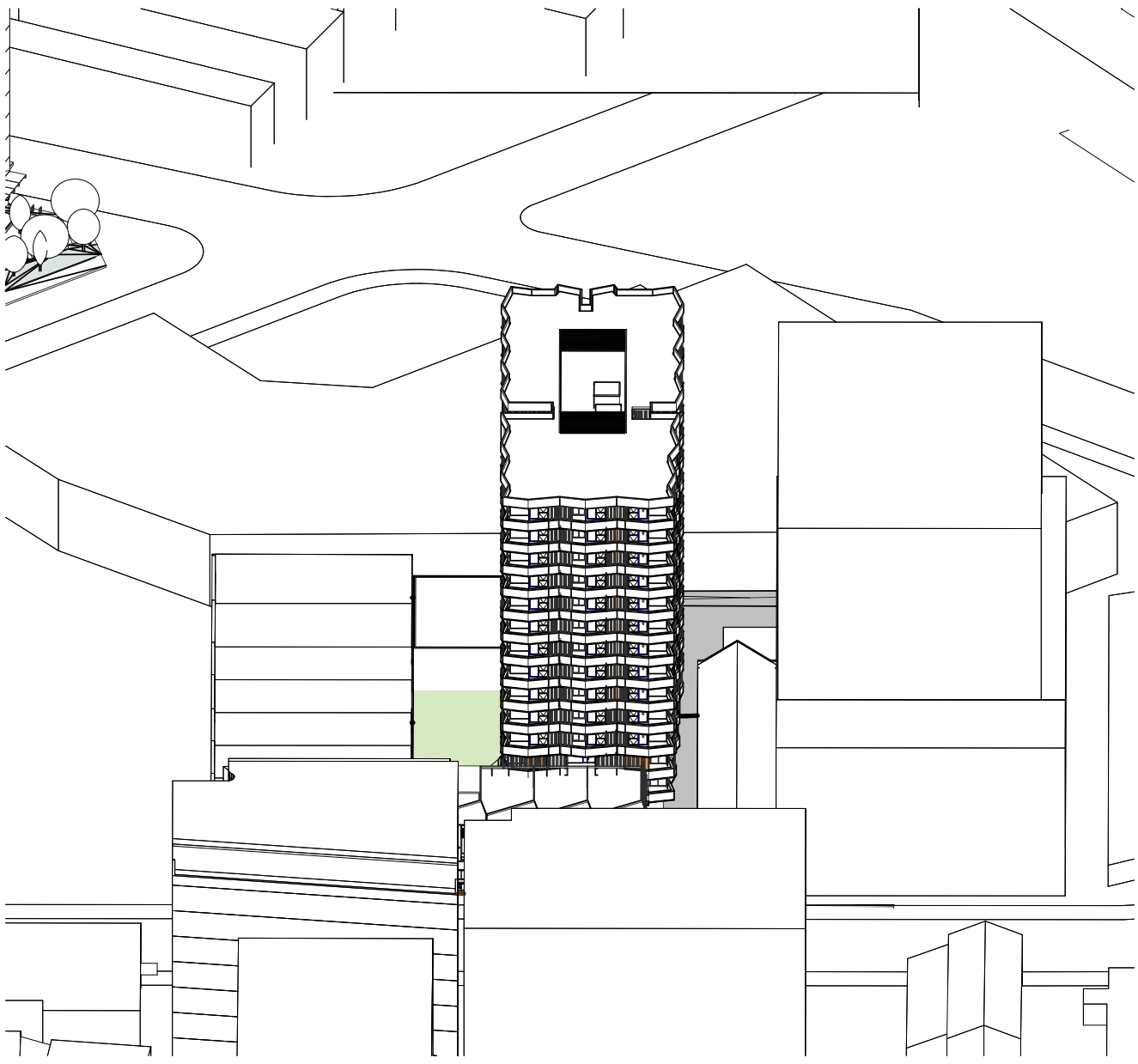
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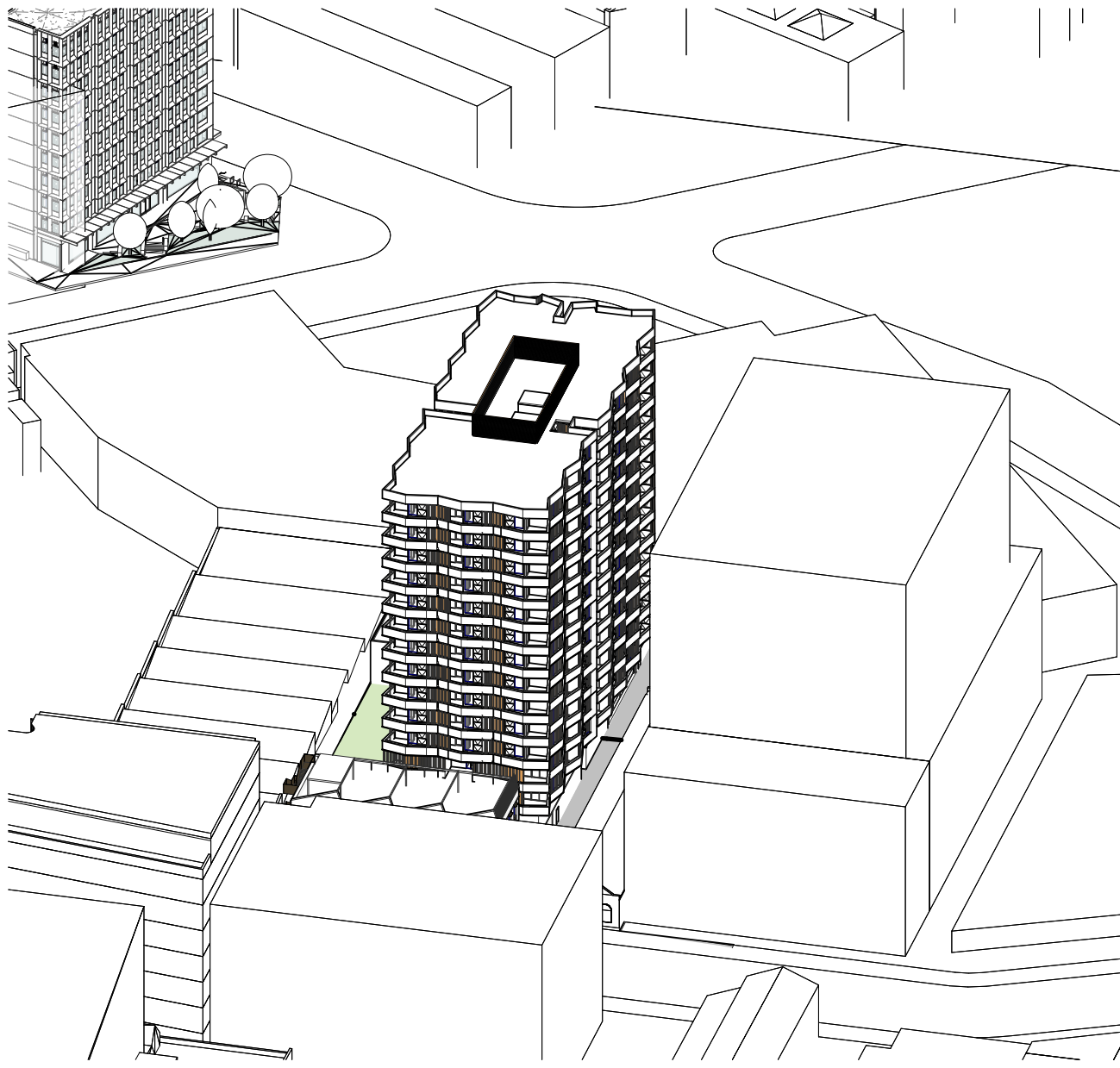
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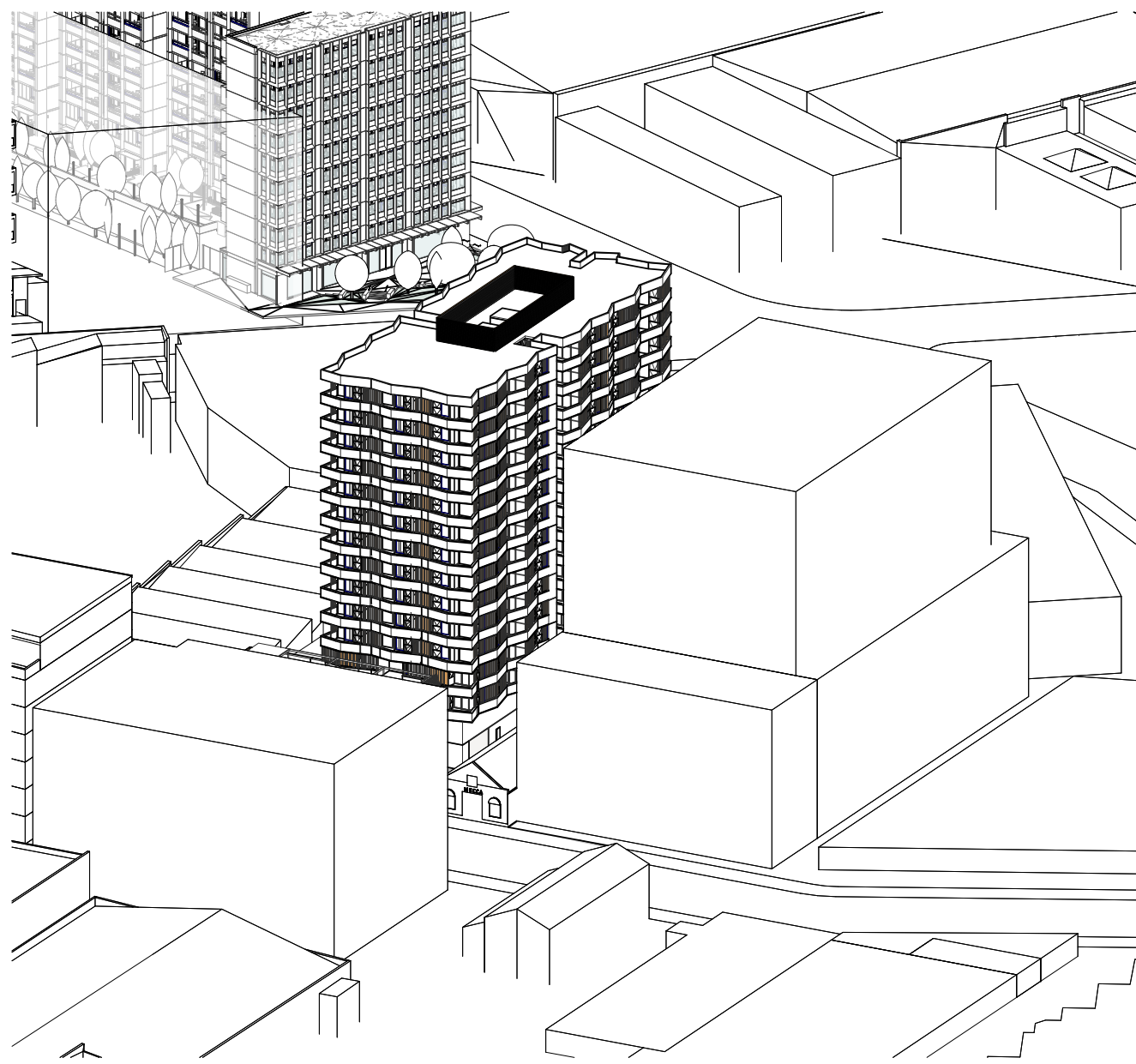
4 VFS - Winter Solstice 1200



5 VFS - Winter Solstice 1300



6 VFS - Winter Solstice 1400



7 VFS - Winter Solstice 1500

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Current Revision Description

Data Issue Record
Current Revision released by
Rev Date Description

A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal
Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA22 - Compliance
Sun Eye Diagrams

Phase
Development Application

Status
For Approval

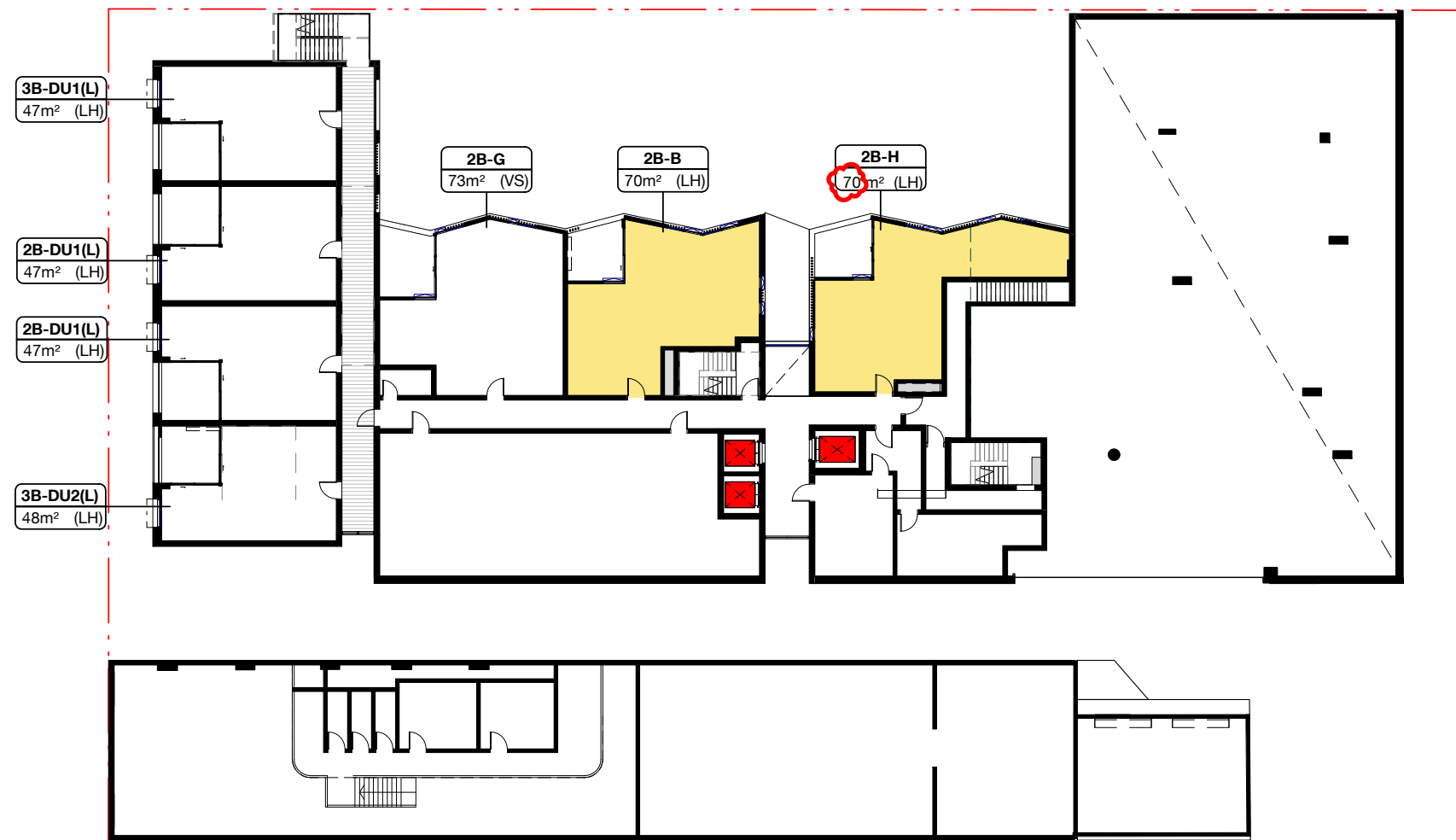
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Scale

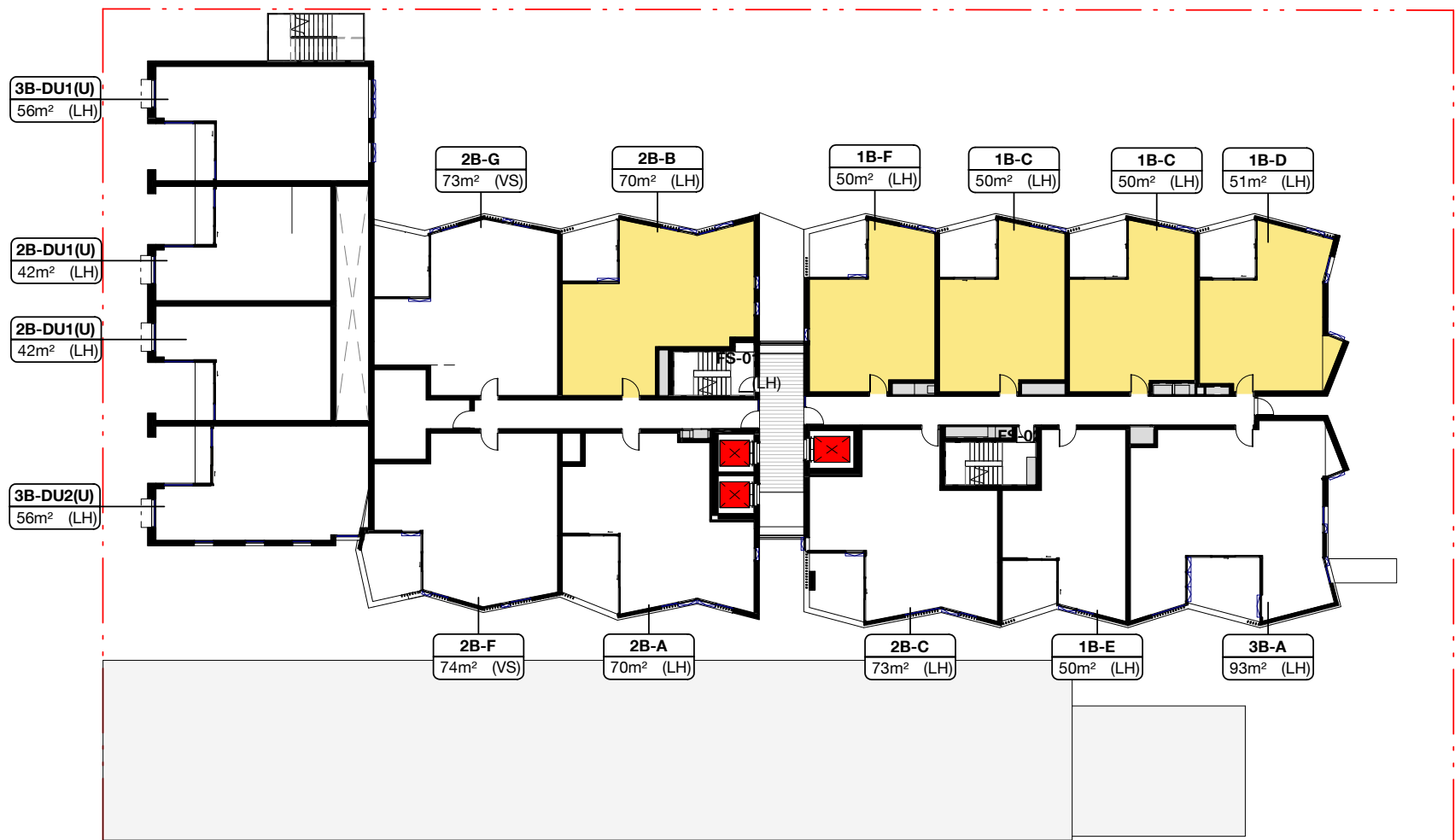
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Revision

A



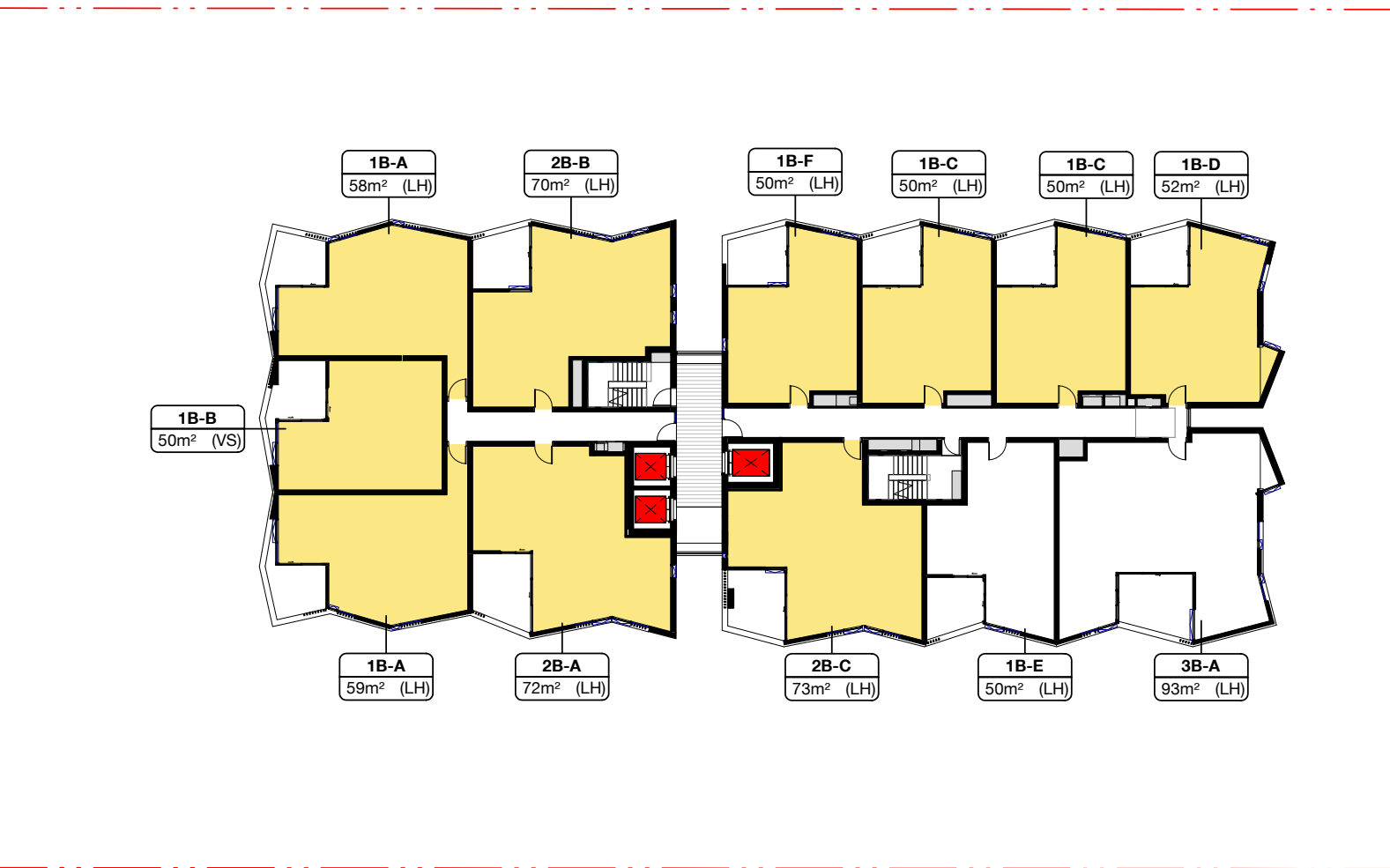
1 Solar Access - Level 01
1 : 350



2 Solar Access - Level 02
1 : 350



3 Solar Access - Level 03
1 : 350



4 Solar Access - Level 04-14
1 : 350

SOLAR COMPLIANCE

Level 01:	2 Apartments
Level 02:	5 Apartments
Level 03:	9 Apartments
Level 04-14	10 Apartments x 11 Levels
Total:	126/161 (78.3%) Apartments achieve solar compliance



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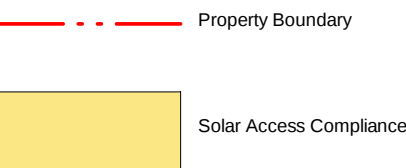
Do not scale drawings.

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Client

City West Housing

LEGEND - SOLAR ACCESS



Current Revision Description

Data Issue Record
Current Revision released by
Rev Date Description

C 20.03.26 Amended DA Issue
B 25.02.26 Amended DA Issue
A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal

Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA22 - Compliance
Solar Access

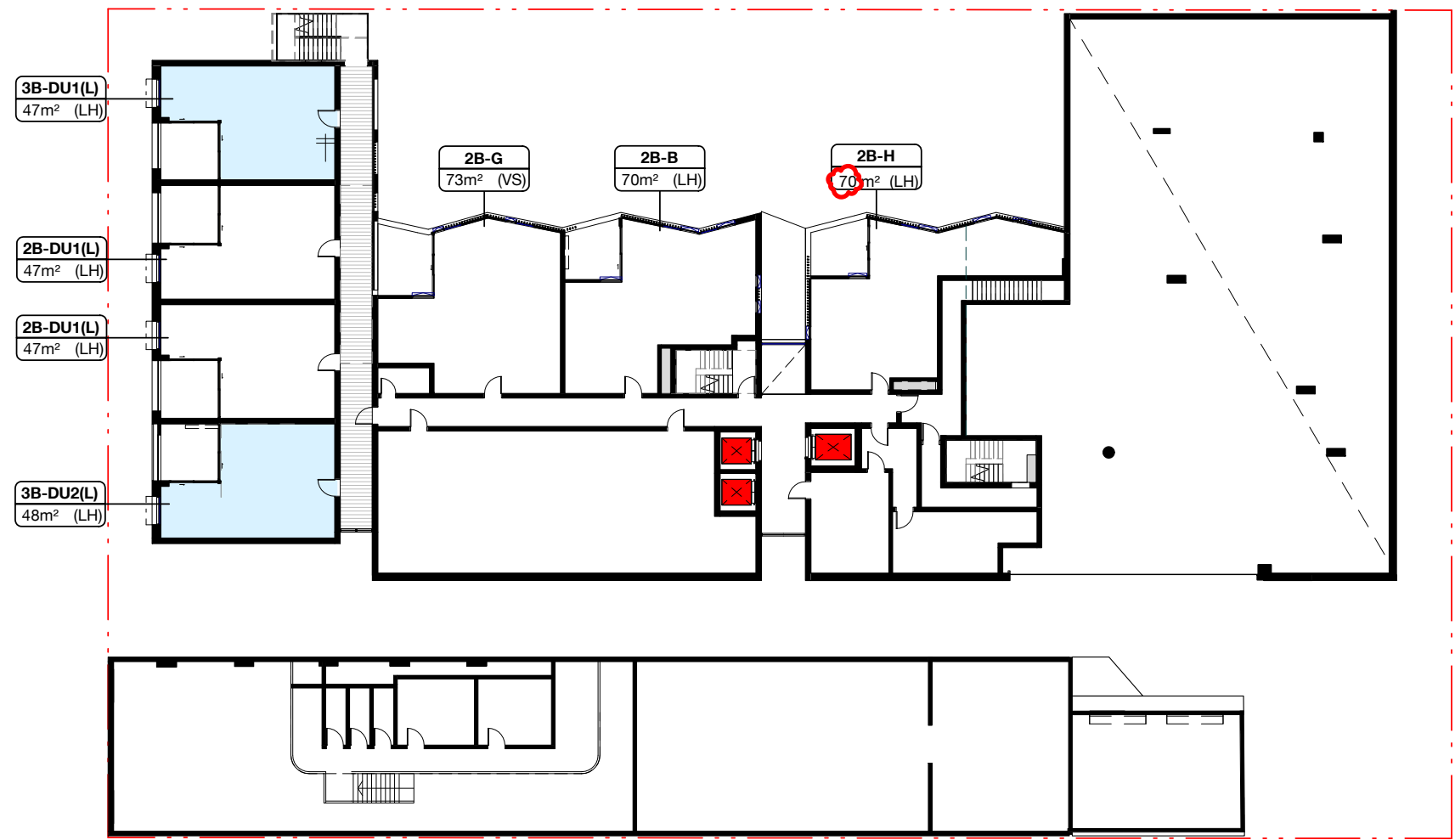
Phase
Development Application

Status
For Approval

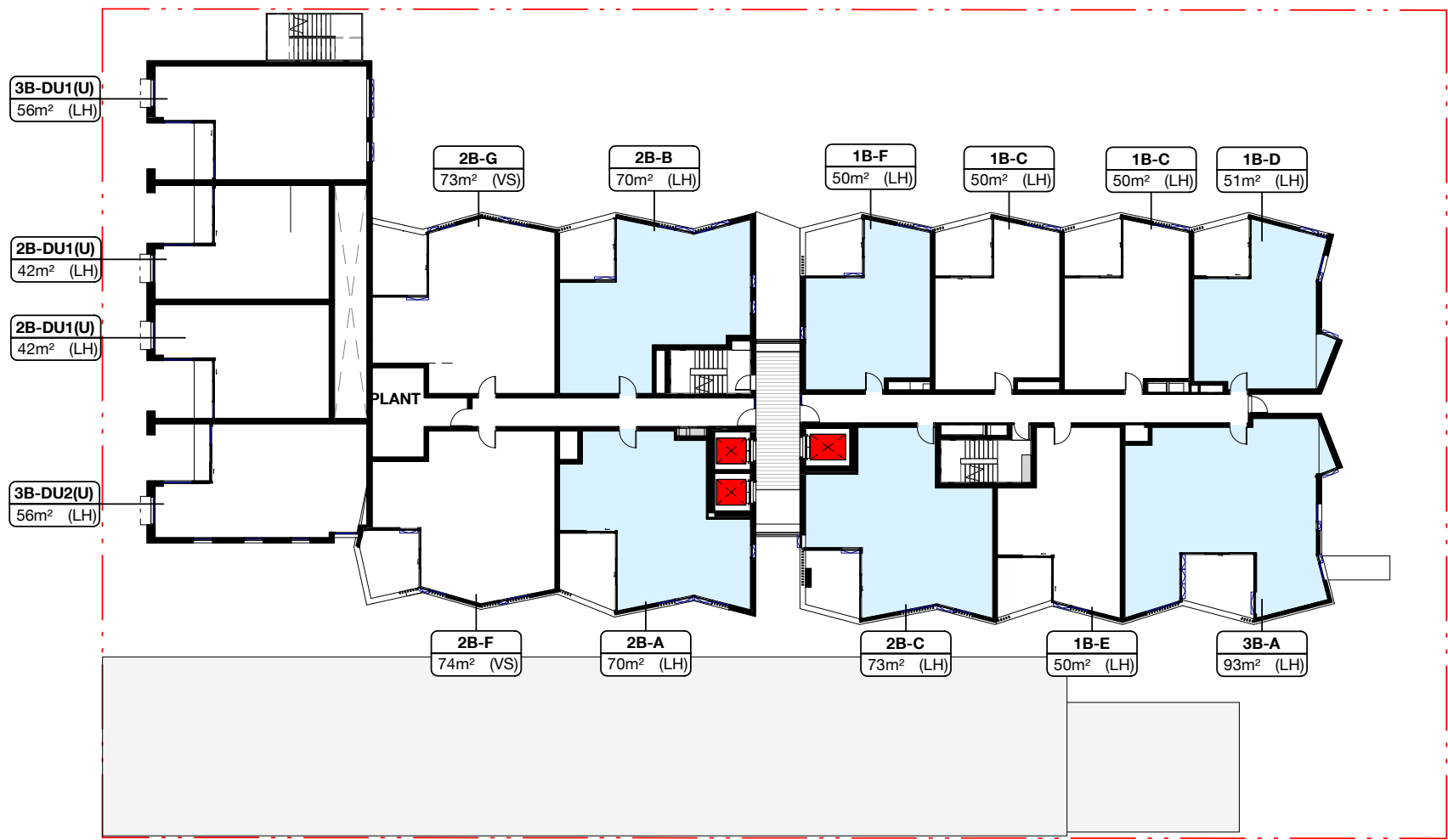
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DA22.300

Scale
As indicated
@ A1
Revision
C

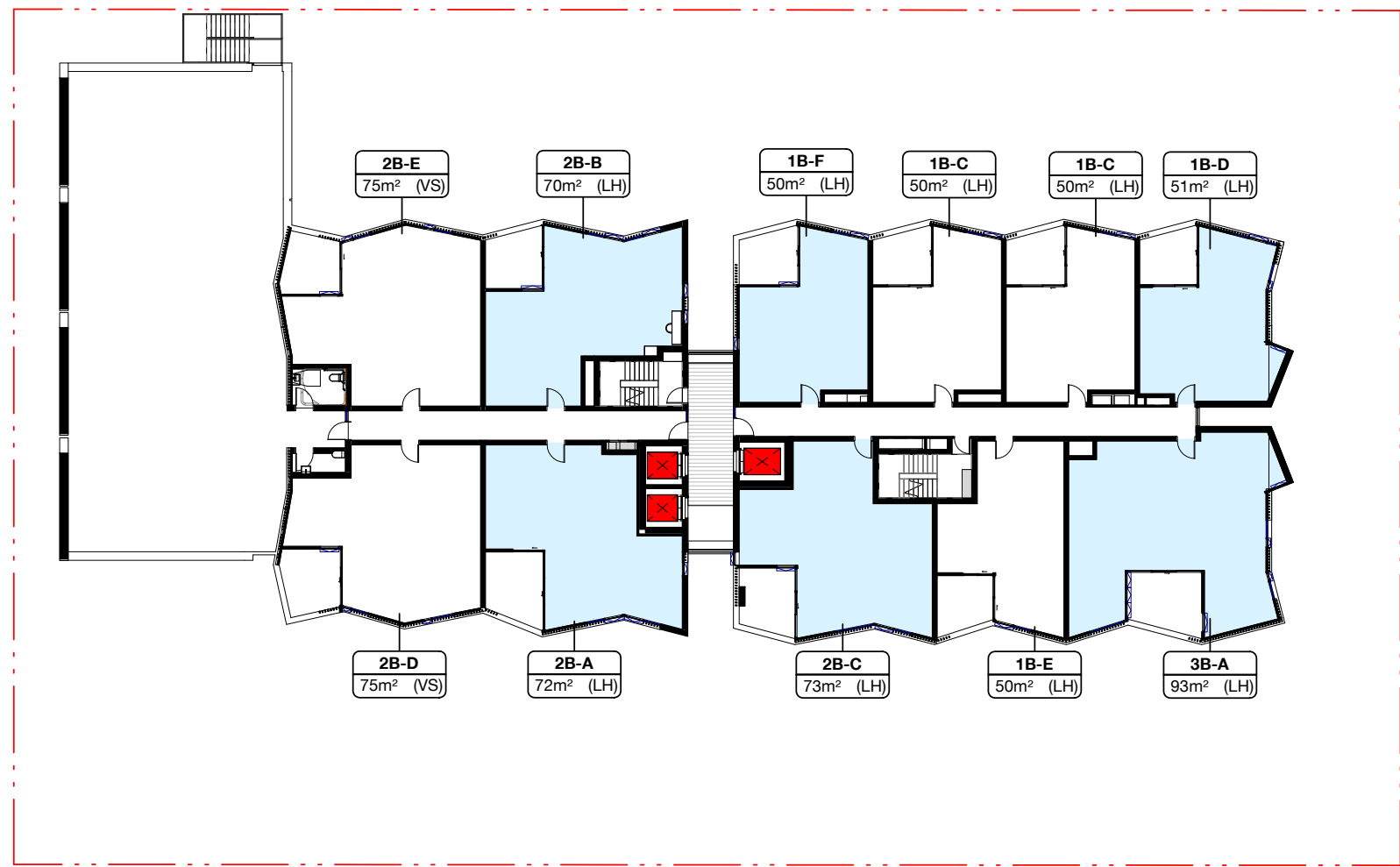




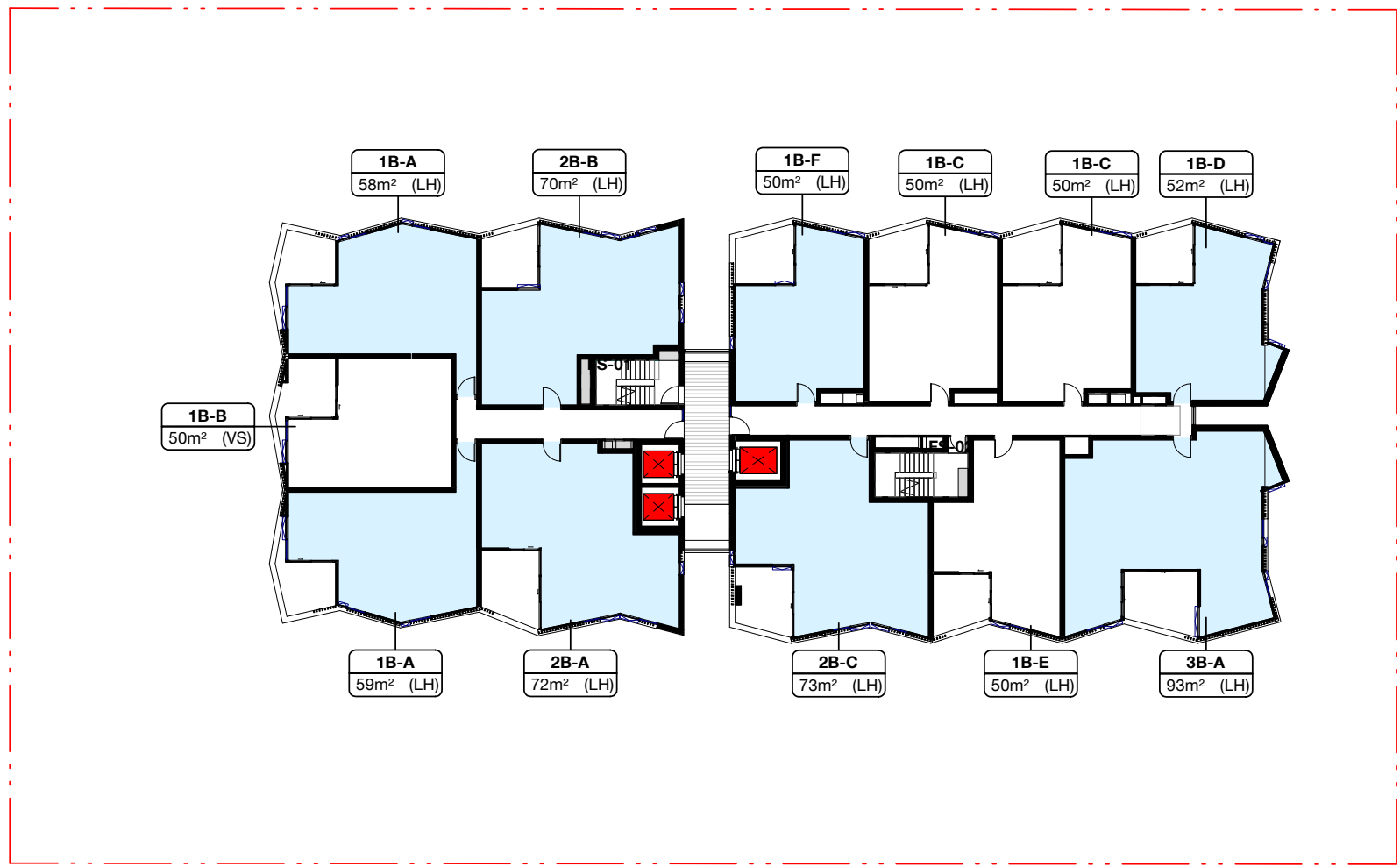
1 Cross Ventilation - Level 01
1 : 350



2 Cross Ventilation - Level 02
1 : 350



3 Cross Ventilation - Level 03
1 : 350



4 Cross Ventilation - Level 04-8
1 : 350

CROSS VENTILATION COMPLIANCE

Level 01:	2 Apartments
Level 02:	6 Apartments
Level 03:	6 Apartments
Level 04-08	8 Apartments x 5 Levels
Total:	54/89 (60.6%) Apartments achieve cross ventilation



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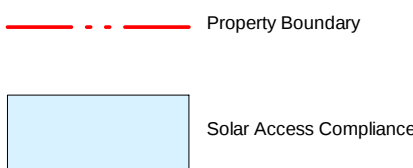
Do not scale drawings.

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City West Housing

LEGEND - CROSS VENTILATION



Current Revision Description

Data Issue Record
Current Revision released by
Rev Date Description

C 20.03.26 Amended DA Issue
B 25.02.26 Amended DA Issue
A 17.09.25 DA Issue

Project Title
Banksia
First Nations Country
Gadigal

Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA22 - Compliance
Cross Ventilation

Phase
Development Application

Status
For Approval

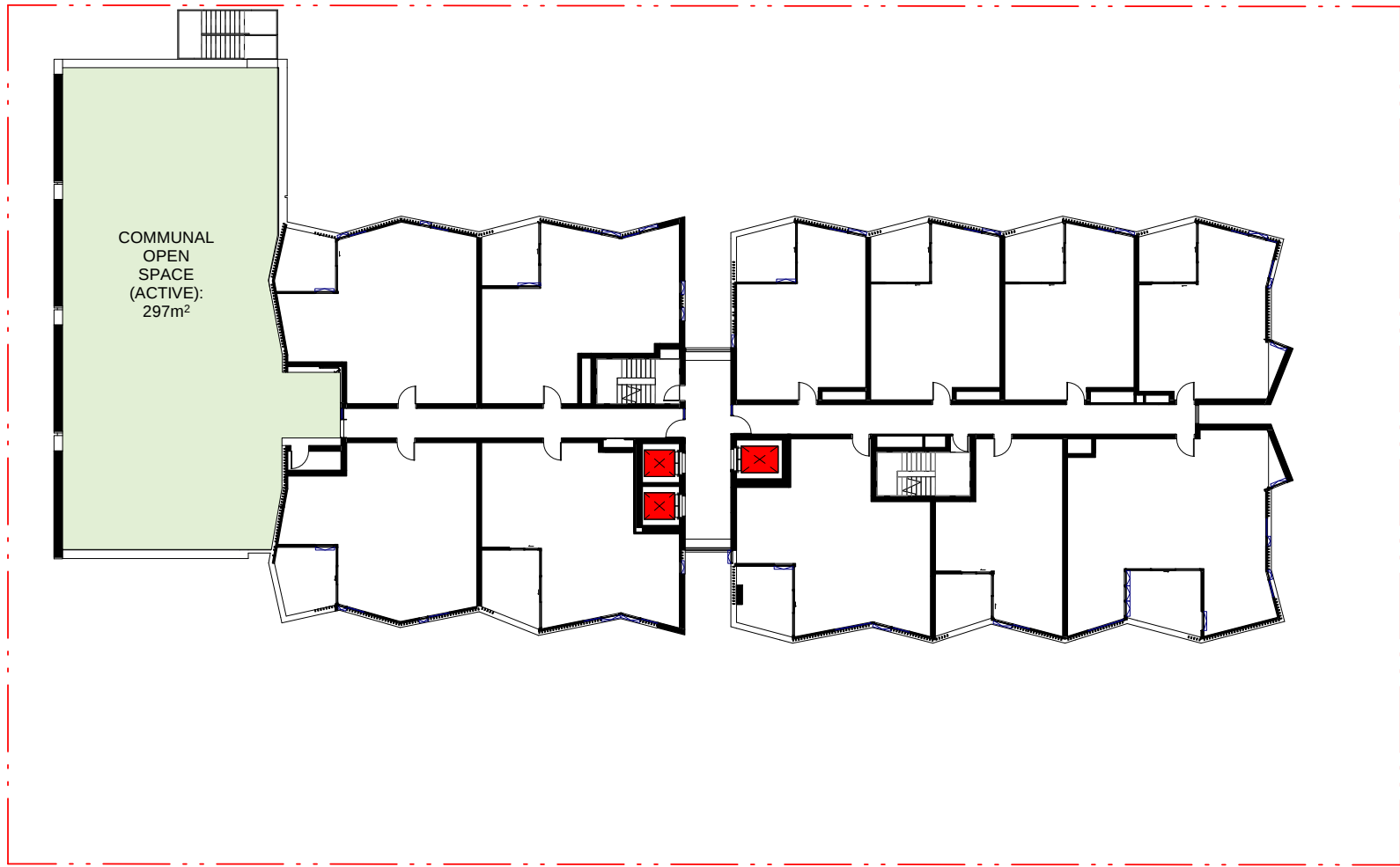
Drawing no.
DA22.400

Scale
As indicated
@ A1
Revision
C





1 Open Space - Ground Floor
1 : 350



2 Open Space - Level 03
1 : 350

COMMUNAL OPEN SPACE

Ground Floor Passive Communal Open Space:	554m ²
Level 03 Active Communal Open Space	297m ²
Total Communal Open Space Area	851m ² (26% of Site Area)

DEEP SOIL ZONE

Ground Floor :	386m ² (12% of Site Area)
----------------	--------------------------------------



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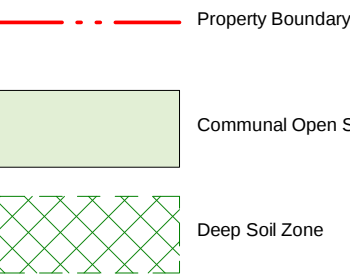
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LEGEND - OPEN COMMUNAL SPACE



Current Revision Description

Data Issue Record
Current Revision released by
Rev Date Description

B	25.02.26	Amended DA Issue
A	17.09.25	DA Issue

Project Title
Banksia
First Nations Country
Gadigal

Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA22 - Compliance
Open Space and Deep Soil

Phase
Development Application

Status
For Approval

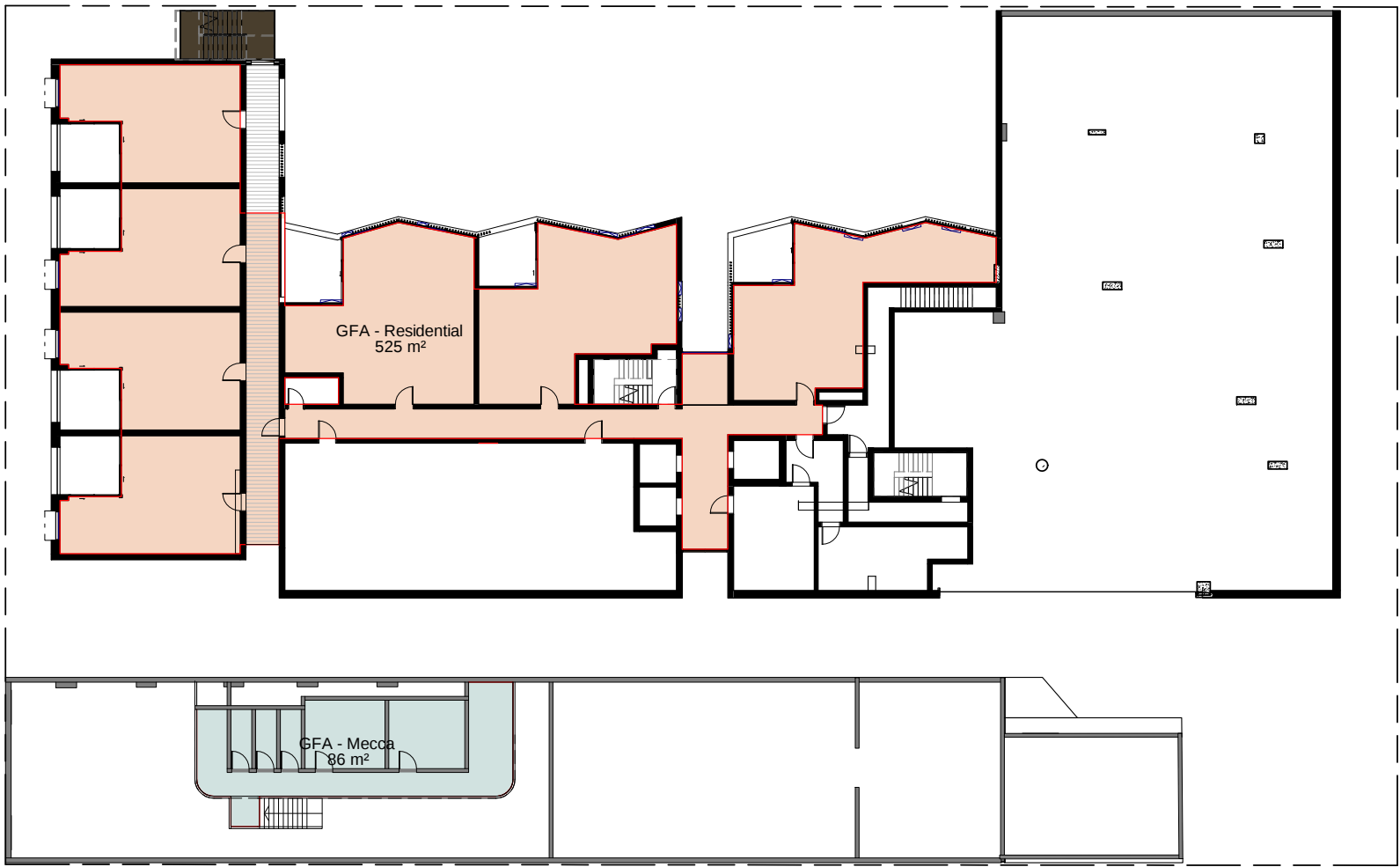
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@ A1
Revision
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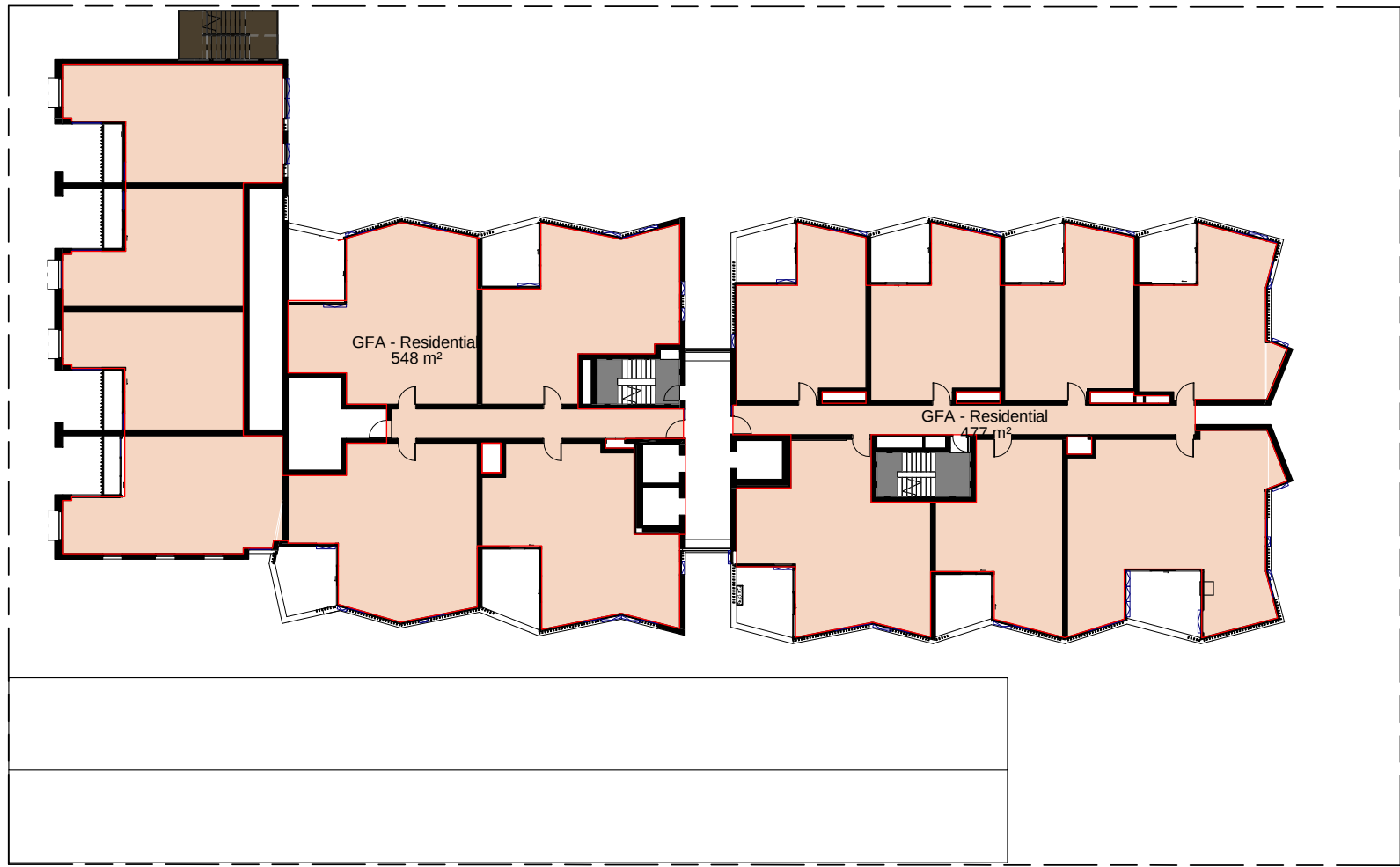




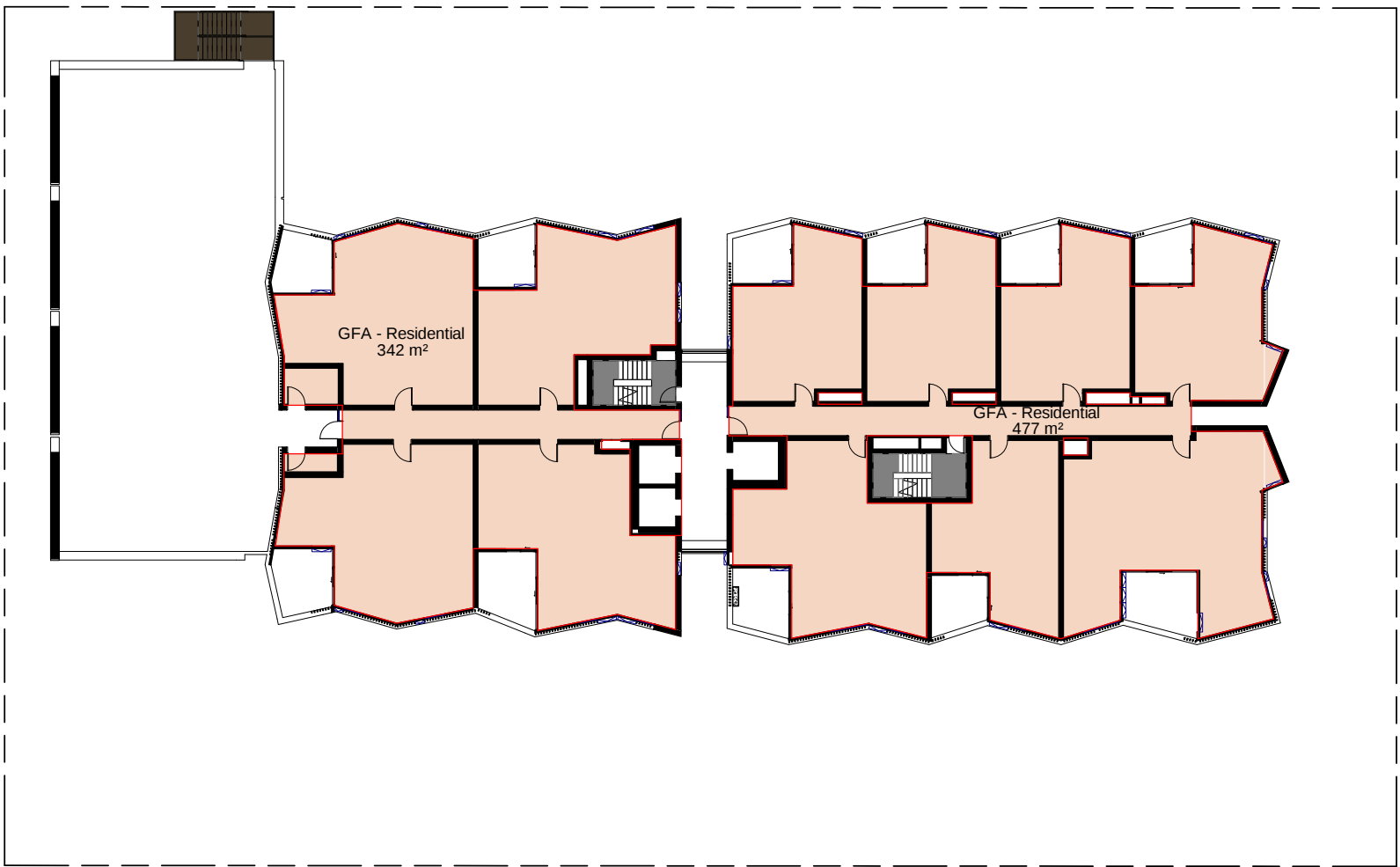
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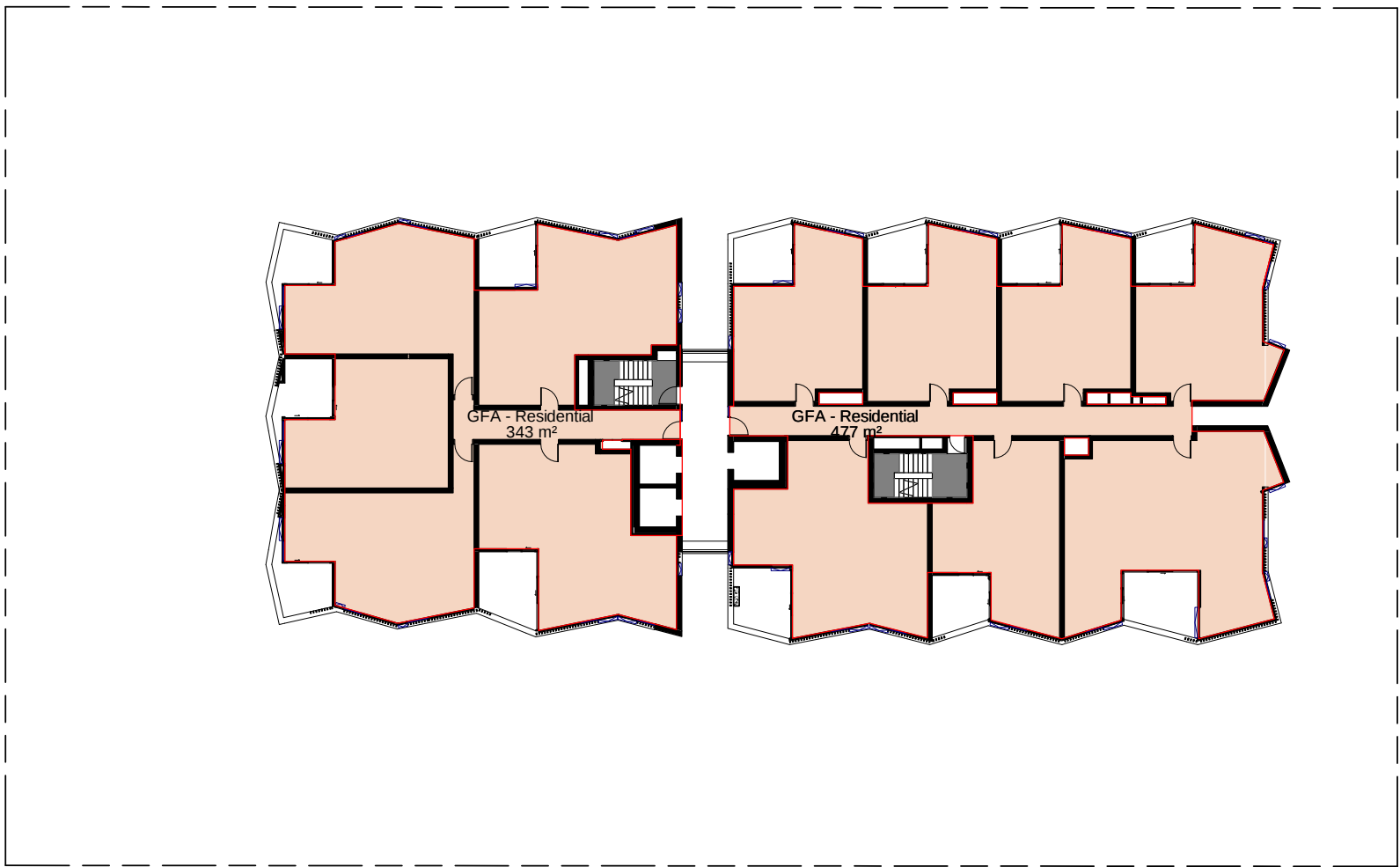
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1 : 350



3 GFA - LEVEL 02
1 : 350



4 GFA - LEVEL 03
1 : 350



5 GFA - LEVEL 04-14
1 : 350

LEGEND			
	Residential GFA:	11,833m²	
	Commercial GFA:	129m²	
	Community GFA:	70m²	
	Ex. Mecca Building GFA:	564m²	
Total GFA:		12,596m²	

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Current Revision Description

Data Issue Record		
Current Revision released by		
Rev	Date	Description

B	25.02.26	Amended DA Issue
A	17.09.25	DA Issue

Project Title
Banksia
First Nations Country
Gadigal

Project Address
20-26 Bourke Rd
Alexandria

Project No.
S12877

Drawing Title
DA23 - Area Calculation Plans
Gross Floor Area Plans

Phase
Development Application

Status
For Approval

Drawing no.
DA23.000

Scale
As indicated
@ A1
Revision
B

Banksia Apartments | Landscape DA Package

20-26 Bourke Road, Alexandria NSW 2015

Drawing register:

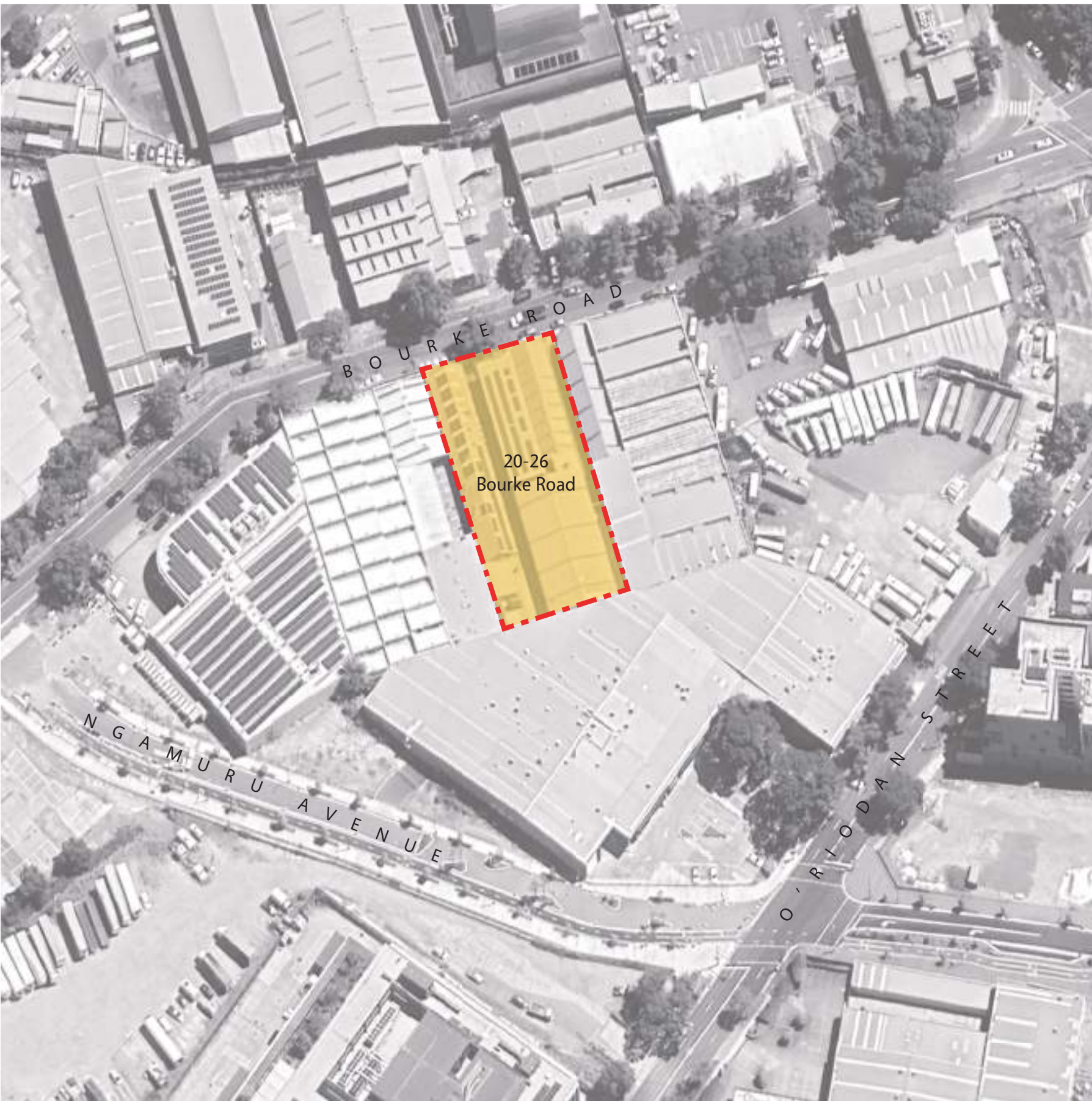
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2532-01	Titlesheet, Drawing Register, General Notes & Location Plan
2532-02	Overall Site Plan
2532-03	Landscape DA Plan 1 of 2 (Groundfloor)
2532-04	Landscape DA Plan 2 of 2 (Level 3 & Greenroof)
2532-05	Sectional Elevation A
2532-06	Sectional Elevation B
2532-07	Sectional Elevation C, Sectional Elevation D
2532-08	Deep Soil Zones, Soil Depth Plans
2532-09	Canopy Coverage Plans
2532-10	Planting DA Plan 1 of 2 (Groundfloor)
2532-11	Planting DA Plan 2 of 2 (Level 3 & Greenroof)
2532-12	Plant DA Schedule 1 of 2
2532-13	Plant DA Schedule 2 of 2
2532-14	Maintenance Requirements & Management Plan, Typical Softscape Details
2532-15	Typical Softscape Details
2532-16	Public Domain Landscape Plan

Project information:

Client:	City West Housing
Site:	Lot 2-3 (DP230211), Lot 14 (DP536846), Lot 1 (DP333175), known as 20-26 Bourke Road, Alexandria NSW 2015
Site area (Pre VPA dedication):	3,306m²
Site area (Post VPA dedication):	3,062m²
LGA:	City of Sydney
Landscape architect:	Paddock Landscape Architects
Architect:	Bates Smart
Planner:	BEAM
Surveyor:	Beveridge Williams Colliers
Civil engineer:	BG & E
Structural engineer:	TTW
Arborist:	Birds Tree Consulting
Environmental engineer:	JBS & G
Access consultant:	DC Partnership
Acoustic consultant:	E-Lab
Fire safety engineer:	E-Lab
Services consultant:	Neuron
Quantity surveyor:	MBM
Wind engineer:	RWDI
Traffic consultant:	JMT

General notes:

- + Not for construction or pricing.
- + Subject to detailed design and documentation.
- + Subject to Council approvals.
- + Refer to engineer documentation for all external services, including stormwater drainage, lighting, hydraulic etc.
- + All existing site levels within landscape softscape zones to be retained, unless otherwise documented.
- + Structures, fences, walls, balustrades, furniture etc subject to detailed design and engineering design.
- + Planting subject to availability at time of tender and construction.
- + Indicative planting extent and setout documented - may vary onsite due to site conditions.
- + All podium planters to include a fully automated irrigation system, subject to detailed design by irrigation consultant.



Location Plan



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G 46-52 Meagher Street
Chippendale NSW 2008
www.paddockstudio.com.au



Registered Landscape Architects
A/LA 1761
ABN 82 628 312 274
ACN 628 312 274

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Architect:
BATESSMART.

Issue:	Date:	Reason:	Reviewed by:
A	10.09.25	For DA Submission	DW
B	03.02.26	DA Submission Amendments	DW

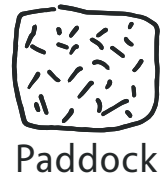
Project: Banksia Apartments
20-26 Bourke Road, Alexandria NSW
Client:

Title: **Titlesheet**
Drawing Register
General Notes
Location Plan

Project No.: 2532
Date: 03.02.2026
Scale: N/A @ A1



Drawing:	Issue:
2532-01	B



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ALA 1761
ABN 82 628 312 274
ACN 628 312 274

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Architect:
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Issue:	Date:	Reason:
A	10.09.25	For DA Submission
B	03.02.26	DA Submission Amendments

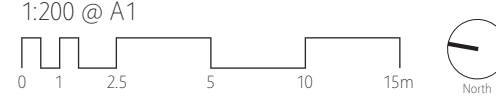
Reviewed by:
DW
DW

Project: Banksia Apartments
20-26 Bourke Road, Alexandria NSW



Title: Overall Landscape DA Plan

Project No.: 2532
Date: 03.02.2026
Scale: 1:200 @ A1



Drawing:
2532-02

Issue:
B



Legend:

- New mass planted podium garden areas, imported light-weight organic soil mix, mass planting and organic mulch. Soil depths vary, 500-800mm.
- 1 Inaccessible greenroof, imported light-weight organic soil mix, mass planting and organic mulch. Soil depths to 300mm. The greenroof provides a additional planted landscapes above the groundfloor structure and a green outlook from the apartments above.
- 2 Pathways type 3 - concrete unit pavers installed on mortar bedding and podium base slab.
- 3 Stair access to the lower courtyard and townhouses.
- 4 Built-in podium planters to allow for small native shade trees and understorey planting. Faced brick to reflect the materiality of the building, planter walls to balustrade height of 1m. Structural void fillers below required soil depth to achieve height of planter.
- 5 Stand-alone planters with contained waterproofing and drainage separate to the podium structure. Metalwork planters with protective coating finish, planter walls to balustrade height of 1m. Structural void fillers below required soil depth to achieve height of planter.
- 6 Stand-alone planters with contained waterproofing and drainage separate to the podium structure. Metalwork planters with protective coating finish, planter walls to balustrade height of 500mm.
- 7 Fixed table settings public domain furniture with metalwork frames and aluminium battens.
- 8 Outdoor dining bench with electric bbq.
- 9 Shade structure to provide a weatherproof area for the communal facilities.
- 10 Metalwork trellis structure with wires and native vine plantings to provide dappled shade to secondary passive use areas within the terrace.
- 11 Circular, internally facing seating areas amongst garden areas. Off-form insitu concrete.
- 12 Sandstone boulders of varying size located within the garden areas.
- 13 Sculptural elements and boulders provide areas for informal seating and incidental play.
- 14 Community garden to provide residents with an area to grow productive plants. Raised metalwork planters including a small area for storage of equipment. The productive garden purposefully has only one entrance so that the space may be potentially secured with a low gate.
- 15 Gravel maintenance access surrounding the greenroof.
- 16 Lightwells incorporated within raised planters provide lighting to lower walkway along the townhouse entries.

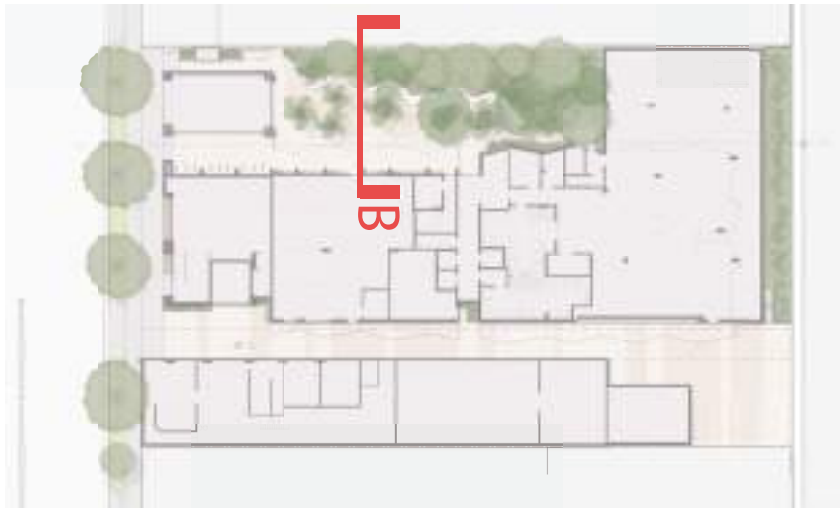


Key Plan
Scale: NTS



Sectional Elevation A - Groundfloor Courtyard

Scale: 1:100 @A1

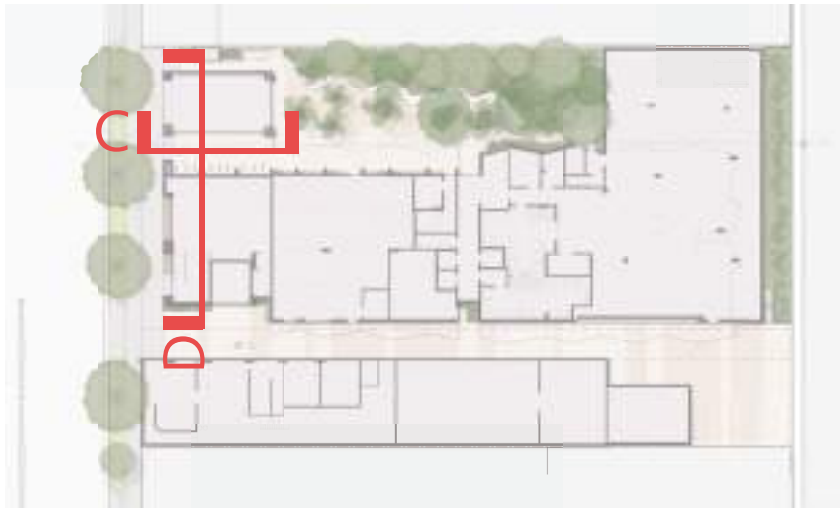


Key Plan
Scale: NTS

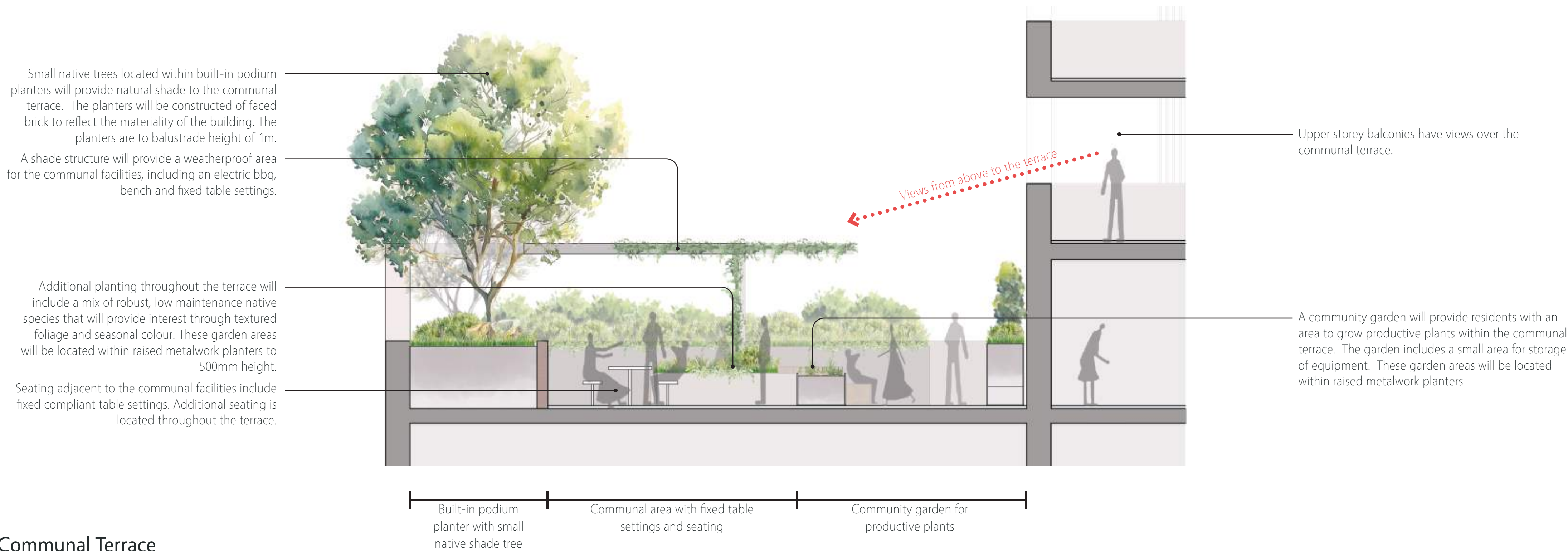


Sectional Elevation B - Groundfloor Courtyard

Scale: 1:50 @A1



Key Plan
Scale: NTS



Sectional Elevation C - Level 3 Communal Terrace
Scale: 1:50 @A1



Sectional Elevation D - Level 3 Communal Terrace
Scale: 1:50 @A1



Deep Soil Zones - Groundfloor

The groundfloor central courtyard provides a contiguous deep soil area to allow for the growing of native canopy trees, palms and understorey plantings.

City of Sydney requires the site area used to calculate deep soil requirements to exclude any area dedicated to Council.

The anticipated deep soil that will be provided is:

Site area (excludes any area to be dedicated to Council) = 3,062m²

Total deep soil zones = 368.2m² (12.0%)



Soil Depth Plan - Groundfloor

Groundfloor planting areas have been designed to maximise soil depth where possible and adhere to the depths required within the DCP and ADG. Soil depths within the ground garden areas include:

- Soil depth 1000mm
- Soil depth 500mm

The Remediation Action Plan (RAP) outlines specific requirements for landscape areas:

- + General garden areas require 600mm of material removed and replaced.
- + Areas with trees require 1500mm of material removed and replaced.
- + All landscape areas require a geotextile marker layer at the extent of the excavation.



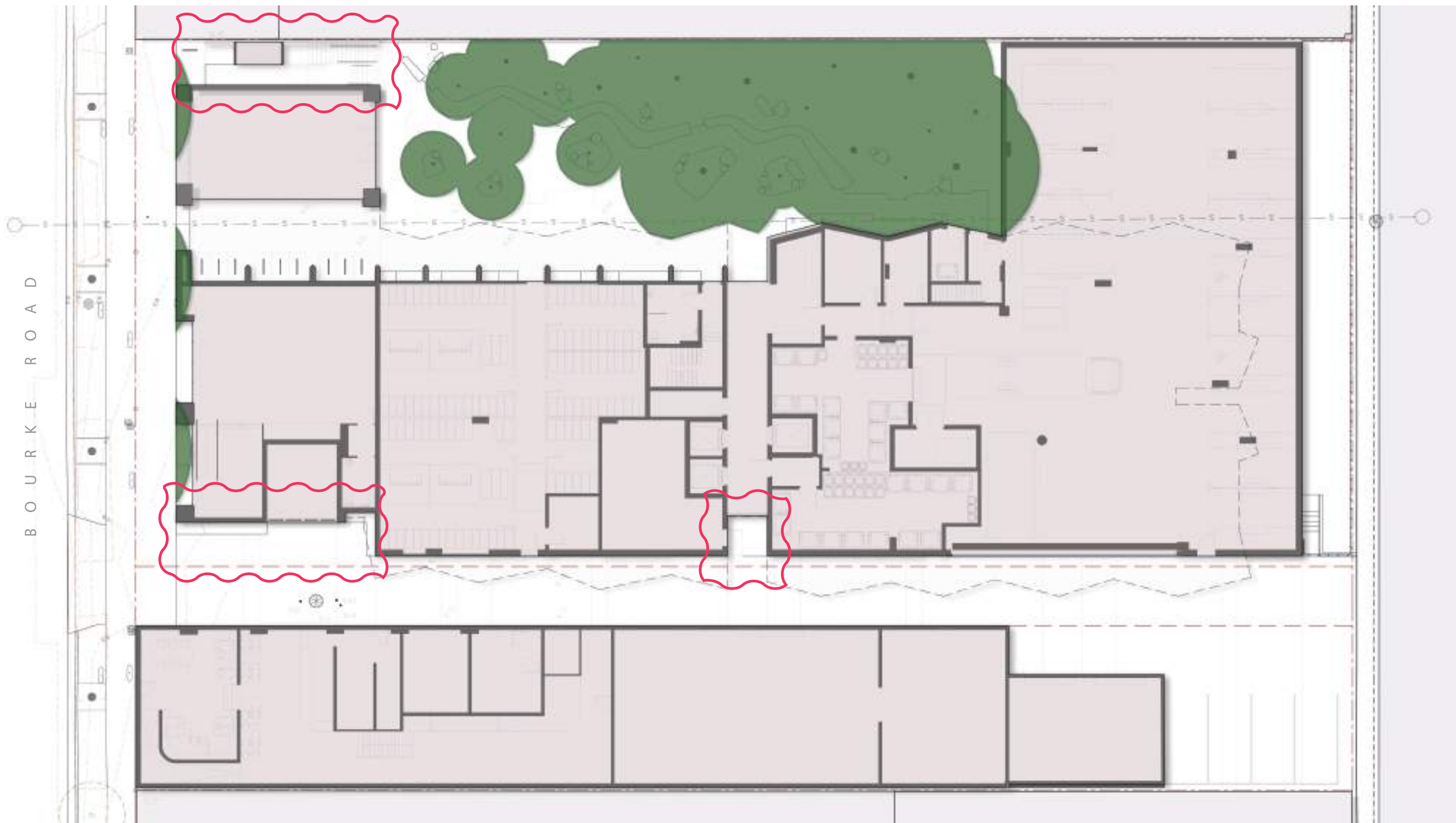
Soil Depth Plan - Level 3 + Greenroof

Garden areas within podiums will include a mix of built-in planters and stand-alone planters. Soil depths will adhere to the depths required within the DCP and ADG. Built-in planters are located above non-habitable areas (townhouse balconies are located below) and are to balustrade height and will include structural void fillers below the soil depth. Stand-alone planters will be constructed of metalwork and will include structural void fillers below the soil depth.

All podium planters will be irrigated.

Soil depths within the podium planters include:

- Soil depth 800mm
- Soil depth 500mm
- Soil depth 300mm



Canopy Coverage Plan - Groundfloor

The centralised deep soil zone within the groundfloor courtyard allows for the planting of native canopy trees and palms.

The greenroof areas have been included as part of the sites tree replacement strategy, given the required tree plantings cannot be achieved due to site constraints.

- Inaccessible greenroof area = 185m²
- Communal terrace greenroof area = 100m²
- Total green roof area = 285m²
- Trees offset by green roof planting = 3 medium trees (min. 8m canopy dia.)
- Canopy coverage offset area = 150.6m²

City of Sydney requires the site area used to calculate tree planting requirements to exclude any area dedicated to Council.

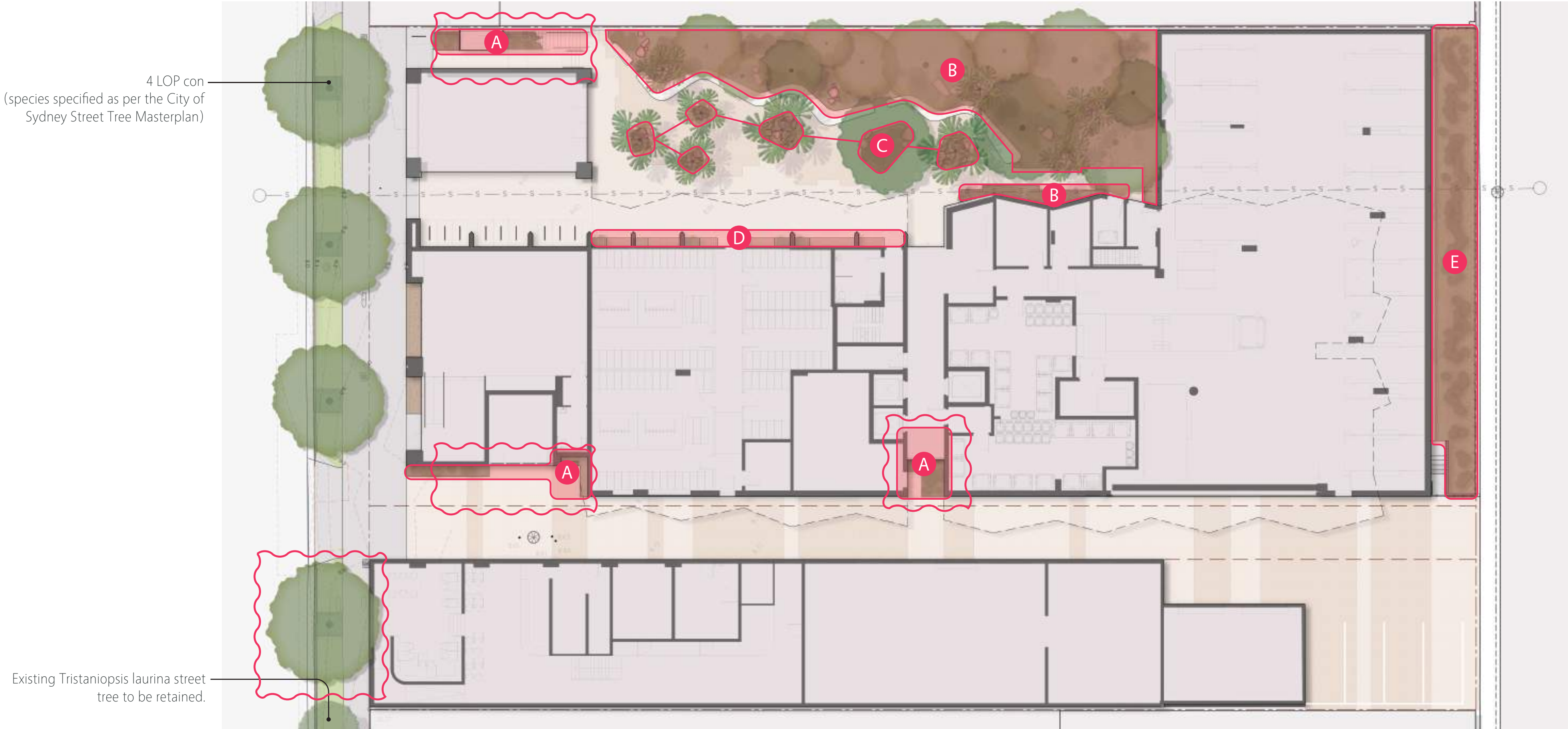
The anticipated canopy coverage that will be provided is:

- Site area (excludes any area to be dedicated to Council) = 3,062m²
- Groundfloor = 370m²
- Level 3 communal terrace = 46m²
- Greenroof offset = 150.6m²
- Total canopy coverage = 566.6m² (18.5%)**



Canopy Coverage Plan - Level 3

Built-in planters within the communal terrace allow for the planting of small native shade trees. These podium planters are located above non-habitable areas (townhouse balconies are located below) and are to balustrade height.



Planting DA Plan - Groundfloor

Scale: 1:200 @A1

Area A

Plant Code:	Quantity:
Groundcovers:	
CHR api	12
DIC rep	32
GRE lan MT	18
HIB sca	12
SCA alb MC	5
VIO hed	48
Grasses:	
DIA cae LJ	32
LIR mus JR	44
LOM lon T	15
Broadleaf + Ferns:	
ALP nut	12
ASP aus	2
BLE gib	5
RHA exc	6
Shrubs:	
PIT tob MM	15
MEL vim BJ	3
WES fru AB	3

Area B

Plant Code:	Quantity:
Groundcovers:	
CIS ant	22
DIC rep	60
HAR vio	15
HIB sca	24
SCA alb MC	12
VIO hed	60
Grasses:	
DIA cae LJ	40
LOM lon	24
LOM lon T	38
POA lab E	24
THE tri	24
Broadleaf + Ferns:	
ALP nut	18
ALP zer	15
ASP aus	7
BLE gib	15
DIC ant	5
DOO asp	12
DOR exc	9
HEL gla	15
Shrubs:	
ACA sua	5
BAN spi	3
GOO ova	5
MEL thy	15
WES fru AB	15
Trees:	
ANG cos	3
COR mac	1
ELA eum	3
LIV aus	4
MEL nod	4

Area C

Plant Code:	Quantity:
Groundcovers:	
CIS ant	12
DIC rep	35
SCA alb MC	6
VIO hed	35
Grasses:	
DIA cae LJ	18
LIR mus JR	18
LOM lon T	15
Broadleaf + Ferns:	
BLE gib	12
DOO asp	12
HEL gla	15
Trees:	
COR mac	1
LIV aus	5

Area D

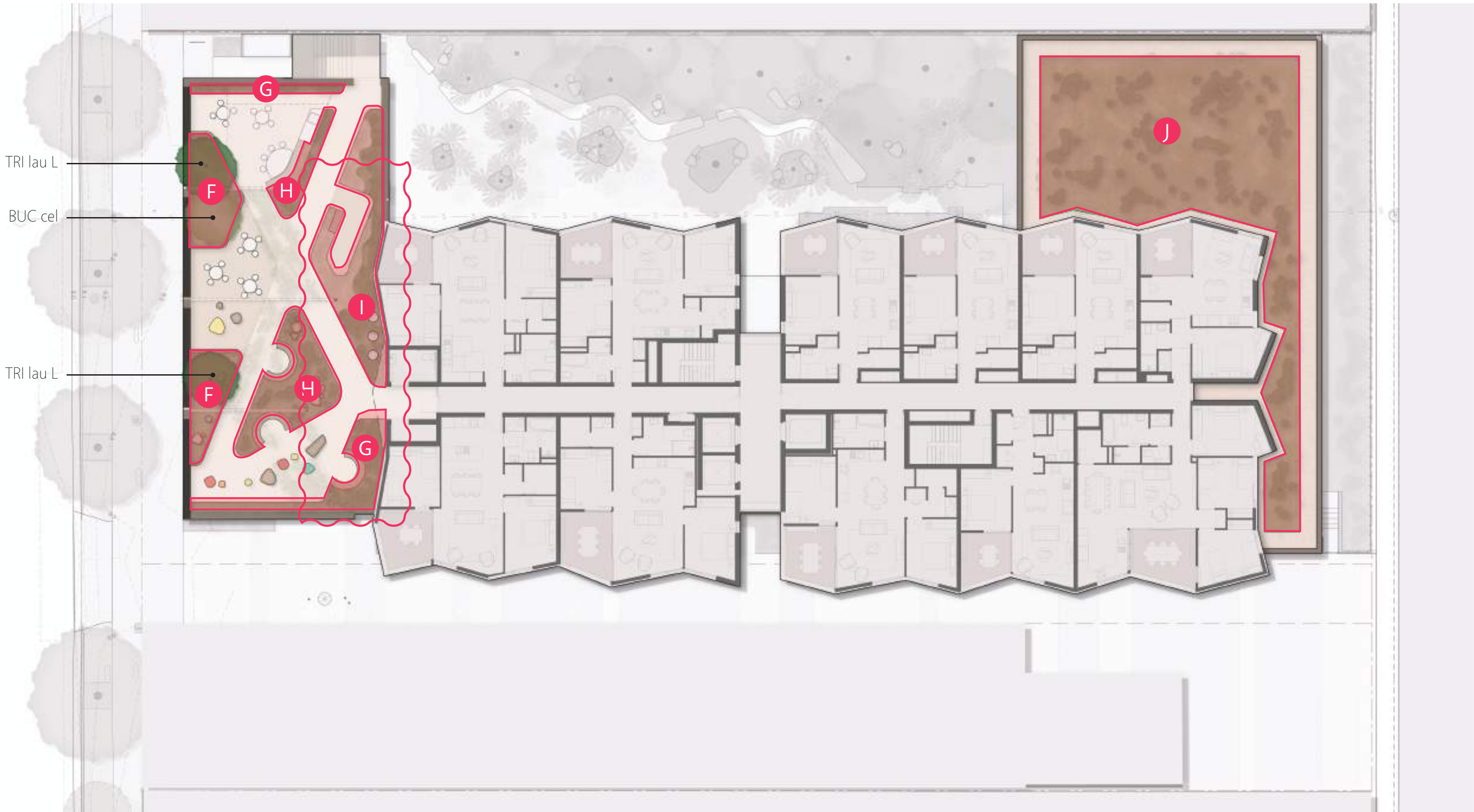
Plant Code:	Quantity:
Groundcovers:	
HIB sca	3
VIO hed	12
Grasses:	
DIA cae LJ	6
LIR mus JR	6
Shrubs:	
PIT tob MM	3
Broadleaf:	
HEL gla	6
RHA exc	3

Area E

Plant Code:	Quantity:
Groundcovers:	
CIS ant	38
DIC rep	50
HAR vio	38
VIO hed	50
Grasses:	
DIA cae LJ	62
LOM lon	45
LOM lon T	58
Broadleaf + Ferns:	
DOO asp	28
DOR exc	9

Planting General Notes:

- + Refer to drawing 2532-012 and 2532-013 for the Plant DA Schedules.
- + Refer to drawing 2532-014 for the Maintenance Requirements & Management Plan.
- + Planting design subject to detailed design. Not for pricing or construction.
- + Planting proposed to be planted within groups of same species, 3-5 groupings.
- + All new deep soil garden areas subgrade to be cultivated prior to installation of new imported organic garden soil.
- + All new deep soil garden areas to include minimum 300mm depth of imported organic garden soil, such as 'ANL Organic Garden Soil', mixed through existing site soil where possible.
- + All new podium garden areas to include minimum 800mm depth of imported organic garden soil, such as 'ANL Organic Planter Mix Soil'.
- + All garden areas to be mulched with 75mm depth of imported organic garden mulch, such as 'ANL Eucy Mulch'.
- + Sub-surface drainage to all garden areas, connected to site stormwater.
- + All gardens areas to be irrigated with a fully automated drip-irrigation system. Irrigation system design subject to detailed design.



Planting DA Plan - Level 3 + Greenroof
Scale: 1:200 @A1

Area F

Plant Code:	Quantity:
Groundcovers:	
CAS gla CI	12
CAR gla	15
CHR api	24
GRE lan MT	24
HAR vio	5
HIB sca	15
SCA alb MC	9
VIO hed	60
Grasses:	
DIA cae LJ	22
DIA rev LR	15
LOM lon T	22
POA lab E	12
Broadleaf:	
CRI ped	6
HEL gla	9
Shrubs:	
BAN spi	3
COR alb	2
WES fru AB	12
Trees:	
BAN int	1
TRI lau L	2

Area G

Plant Code:	Quantity:
Groundcovers:	
CAS gla CI	6
DIC rep	24
HAR vio	5
HIB sca	10
SCA alb MC	5
VIO hed	24
Grasses:	
DIA cae LJ	18
LIR mus JR	22
LOM lon T	15
Broadleaf + Ferns:	
ALP nut	18
ALP zer	9
Shrubs:	
MEL vim BJ	6
PIT tob MM	12
WES fru AB	9

Area H

Plant Code:	Quantity:
Groundcovers:	
CAR gla	9
CAS gla CI	9
CIS ant	2
CHR api	15
GRE lan MT	15
HAR vio	9
HIB sca	12
PAN pan	4
VIO hed	34
Grasses:	
DIA cae LJ	28
DIA rev LR	28
LOM lon T	22
Shrubs:	
MEL vim BJ	4
PIT tob MM	5
WES fru AB	5

Area I

Plant Code:	Quantity:
Groundcovers:	
CAS gla CI	5
CHR api	12
GRE lan MT	9
HIB sca	9
PAN pan	2
VIO hed	22
Grasses:	
DIA rev LR	15
LIR mus JR	18
LOM lon T	15
Broadleaf:	
ALP nut	6
ALP zer	3
CRI ped	5
RHA exc	3
Shrubs:	
MEL vim BJ	3
PIT tob MM	3
SYZ aus R	5
WES fru AB	3

Area J

Plant Code:	Quantity:
Groundcovers:	
CIS ant	48
DIC rep	154
HAR vio	62
HIB sca	52
VIO hed	154
Grasses:	
DIA cae LJ	112
LOM lon	64
LOM lon T	104
POA lab E	95
THE tri	85
Broadleaf:	
CRI ped	24
DOR exc	9

Planting General Notes:

- + Refer to drawing 2532-012 and 2532-013 for the Plant DA Schedules.
- + Refer to drawing 2532-014 for the Maintenance Requirements & Management Plan.
- + Planting design subject to detailed design. Not for pricing or construction.
- + Planting proposed to be planted within groups of same species, 3-5 groupings.
- + All new deep soil garden areas subgrade to be cultivated prior to installation of new imported organic garden soil.
- + All new deep soil garden areas to include minimum 300mm depth of imported organic garden soil, such as 'ANL Organic Garden Soil', mixed through existing site soil where possible.
- + All new podium garden areas to include minimum 800mm depth of imported organic garden soil, such as 'ANL Organic Planter Mix Soil'.
- + All garden areas to be mulched with 75mm depth of imported organic garden mulch, such as 'ANL Eucy Mulch'.
- + Sub-surface drainage to all garden areas, connected to site stormwater.
- + All gardens areas to be irrigated with a fully automated drip-irrigation system. Irrigation system design subject to detailed design.

Plant DA Schedule:

(to be read in conjunction with drawing 2532-010 and 2532-011)

Code	Scientific name:	Common name:	Pot Size:	Mature height & spread*:	Density:	Quantity:	Comments / maintenance requirements:
Groundcovers + Vines:							
CAR gla	Carpobrotus glaucescens	Pig Face	140mm Pot	0.3 x 0.6m	4 /m²	24	Native. Seasonal maintenance to promote new growth. Allow to cascade over walls.
CAS gla CI	Casuarina glauca 'Cousin It'	Sheoak	140mm Pot	0.2 x 0.6m	4 /m²	32	Native cultivar. Seasonal maintenance to promote new growth. Allow to cascade over walls.
CIS ant	Cissus antarctica	Kangaroo Vine	140mm Pot	0.3 x 1.5m	4 /m²	122	Native. Maintain to garden extents.
CHR api	Chrysocephalum apiculatum	Yellow Buttons	140mm Pot	0.3 x 0.3m	6 /m2	63	Native. Maintain to garden extents.
DIC rep	Dichondra repens	Kidney Groundcover	Tubestock	0.1 x 0.3m	6 /m²	355	Native cultivar. Allow to form a natural weed-cover within garden areas.
GRE lan MT	Grevillea lanigera 'Mt Tamboritha'	Spider Flower	140mm Pot	0.3 x 0.6m	4 /m²	66	Native cultivar. Seasonal maintenance to promote new growth. Allow to cascade over walls or form natural weed-cover within garden areas.
HAR vio	Hardenbergia violacea	False Sarsaparilla	140mm Pot	0.5 x 0.5m	4 /m²	134	Native. Seasonal maintenance to promote new growth and maintain compact form.
HIB sca	Hibbertia scandens	Snake Vine	140mm Pot	0.3 x 1.5m	4 /m²	137	Native cultivar. Seasonal maintenance to promote new growth. Allow to cascade over walls.
PAN pan	Pandorea pandorana	Wonga Wonga Vine	140mm Pot	0.3 x 1.5m	4 /m²	6	Native. Maintain to shelter/perfolia structure.
SCA alb MC	Scaevola albida 'Mauve Clusters'	Fan Flower	140mm Pot	0.4 x 0.4m	4 /m²	37	Native. Seasonal maintenance to promote new growth and maintain compact form.
VIO hed	Viola hederacea	Native Violet	Tubestock	0.1 x 0.3m	6 /m²	499	Native. Allow to form a natural weed-cover within garden areas.
Grasses:							
DIA cae LJ	Dianella caerulea 'Little Jess'	Blue Flax Lily	Tubestock	0.5 x 0.5m	4 /m²	138	Native cultivar.
DIA rev LR	Dianella revoluta 'Little Rev'	Blue Flax Lily	140mm pot	0.4 x 0.4m	4 /m²	48	Native cultivar.
LIR mus JR	Liriope muscari 'Just Right'	Liriope	140mm pot	0.6 x 0.6m	4 /m²	108	
LOM lon	Lomandra longifolia	Mat-Rush	Tubestock	0.9 x 0.9m	2 /m²	133	Native.
LOM lon T	Lomandra longifolia 'Tanika'	Tanika	140mm pot	0.7 x 0.7m	4 /m²	304	Native cultivar.
POA lab E	Poa labillardieri 'Eskdale'	Tussock Grass	Tubestock	0.7 x 0.7m	3 /m²	131	Native cultivar.
THE tri	Themeda australis	Kangaroo Grass	Tubestock	0.6 x 0.6m	4 /m²	109	Native.
Ferns + Broadleaved:							
ALP nut	Alpinia nutans	Dwarf Cardamon	200mm pot	1 x 1m	2 /m²	54	Seasonal maintenance to remove dead foliage.
ALP zer	Alpinia zerumbet	Shell Ginger	200mm pot	2 x 1m	2 /m²	27	Seasonal maintenance to remove dead foliage.
ASP aus	Asplenium australasicum	Birds Nest Fern	200mm Pot	1 x 1m	1 /m²	9	Native. Seasonal maintenance to remove dead foliage.
BLE gib	Blechnum gibbum	Silver Lady Fern	140mm pot	0.6 x 0.6m	3 /m²	32	Native. Seasonal maintenance to remove dead foliage.
CRI ped	Crinum pedunculatum	Swamp Lily	200mm pot	0.8 x 0.8m	3 /m²	35	Native. Seasonal maintenance to remove dead foliage and flowers.
DIC ant	Dicksonia antarctica	Tree Fern	100L	2-3 x 2m	1 /m²	5	Native. Seasonal maintenance to remove dead foliage.
DOO asp	Doodia aspera	Prickly Rasp Fern	140mm Pot	0.7 x 0.7m	3 /m²	52	Native. Seasonal maintenance to remove dead foliage.
DOR exc	Doryanthes excelsa	Gymea Lily	200mm Pot	1 x 1m	1 /m²	27	Native. Seasonal maintenance to remove dead foliage and flowers.
HEL gla	Helmholtzia glaberrima	Stream Lily	140mm pot	0.7 x 0.7m	3 /m²	45	Native. Seasonal maintenance to remove dead foliage and flowers.
RHA exc	Rhapis excelsa	Lady Palm	400mm pot	2 x 1m	1 /m²	12	Seasonal maintenance to remove dead foliage.

Notes:

- + *Nominal height / spread at maturity - will vary based on maintenance regimes and site growing conditions.
- + Planting design subject to detailed design and documentation.
- + Species selection subject to availability at time of tendering and construction.

Groundcovers + Vines:



CAR gla: Carpobrotus glaucescens Pig Face



CAS gla: Casuarina glauca 'Cousin It' Sheoak



CIS ant: Cissus antarctica Kangaroo Vine



CHR api: Chrysocephalum apiculatum Yellow Buttons



DIC rep: Dichondra repens Kidneyweed



GRE lan MT: Grevillea lanigera 'Mt Tamboritha' Spider Flower



HAR vio: Hardenbergia violacea False Sarsaparilla



HIB sca: Hibbertia scandens Snake Vine



PAN pan: Pandorea pandorana Wonga Wonga Vine



SCA alb MC: Scaevola albida 'Mauve Clusters'



VIO hed: Viola hederacea Native Violet

Grasses:



DIA cae LJ: Dianella caerulea 'Little Jess' Blue Flax Lily



DIA rev LR: Dianella revoluta 'Little Rev' Blue Flax Lily



LIR mus JR: Liriope muscari 'Just Right' Liriope



LOM lon: Lomandra longifolia Mat Rush



LOM lon T: Lomandra longifolia 'Tanika' Tanika



POA lab E : Poa labillardieri 'Eskdale' Tussock Grass



THE tri: Themeda australis Kangaroo Grass

Ferns + Broadleaved:



ALP nut: Alpinia nutans Dwarf Cardamom



ALP zer: Alpinia zerumbet Shell Ginger



ASP aus: Asplenium australasicum Birds Nest Fern



BLE gib: Blechnum gibbum Silver Lady Fern



CRI ped: Crinum pedunculatum Swamp Lily



DIC ant: Dicksonia antarctica Tree Fern



Doo asp: Doodia aspera Prickly Rasp Fern



DOR exc: Doryanthes excelsa Gymea Lilly



HEL gla: Helmholtzia glaberrima Stream Lily



RHA exc: Rhapis excelsa Lady Palm



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Architect:
BATESMART.

Issue: A B Date: 10.09.25 03.02.26 Reason: For DA Submission DA Submission Amendments Reviewed by: DW DW

Project: Banksia Apartments 20-26 Bourke Road, Alexandria NSW
Client: CITY WEST HOUSING

Title: Plant DA Schedule 1 of 2

Project No.: 2532
Date: 03.02.2026
Scale: N/A @ A1

Drawing: 2532-012
Issue: B

Plant DA Schedule:

(to be read in conjunction with drawing 2532-010 and 2532-011)

Code	Scientific name:	Common name:	Pot Size:	Mature height & spread*:	Density:	Quantity:	Maintenance requirements:
Shrubs:							
ACA sua	Acacia suaveolens	Sweet-scented Wattle	200mm pot	1-2 x 1-2m	1 /m²	5	Native. Seasonal maintenance as required to maintain compact form.
BAN spi	Banksia spinulosa	Hairpin Banksia	200mm pot	1 x 2m	1 /m²	6	Native. Seasonal maintenance as required to maintain compact form.
BUR spi	Bursaria spinosa	Sweet Bursaria	200mm pot	1 x 2m	1 /m²		Native. Seasonal maintenance as required to maintain compact form.
COR alb	Correa alba	White Correa	200mm pot	1 x 2m	1 /m²	2	Native. Seasonal maintenance as required to maintain compact form.
GOO ova	Goodenia ovata	Hop Goodenia	200mm pot	0.8 x 0.8m	1 /m²	5	Native. Seasonal maintenance as required to maintain compact form.
MEL thy	Melaleuca thymifolia	Honey-myrtle	200mm pot	1 x 2m	1 /m²	15	Native. Seasonal maintenance as required to maintain compact form.
MEL vim BJ	Melaleuca viminalis 'Better John'	Dwarf Bottlebrush	200mm pot	0.7 x 0.7m	2 /m²	16	Native cultivar. Seasonal maintenance as required to maintain compact form.
PIT tob MM	Pittosporum tobira 'Miss Muffet'	Dwarf Pittosporum	200mm pot	0.9 x 0.9m	2 /m²	38	Seasonal maintenance as required to maintain compact form.
SYZ aus R	Syzygium australe 'Resilience'	Lilly Pilly	25L	2 x 1.5m	1 /m²	5	Native cultivar. Seasonal maintenance as required to maintain compact form.
WES fru AB	Westringia fruticosa 'Aussie Box'	Compact Coastal Rosemary	200mm pot	0.7 x 0.7m	2 /m²	47	Native cultivar. Seasonal maintenance as required to maintain compact form.
Trees + Palms:							
ANG cos	Angophora costata	Sydney Red Gum	75L	25 x 15m	-	3	Native. Seasonal maintenance as required. Maintain with clear trunk 1.5m height.
BUC cel	Buckinghamia celsissima	Ivory Curl Flower	75L	4-10 x 4-10m	-	1	Native. Seasonal maintenance as required. Maintain with clear trunk 1.5m height.
COR mac	Corymbia maculata	Spotted Gum	75L	25 x 15m	-	2	Native. Seasonal maintenance as required. Maintain with clear trunk 1.5m height.
ELA eum	Elaeocarpus eumundii	Quandong	75L	8m x 3m	-	3	Native. Seasonal maintenance as required. Maintain with clear trunk 1.5m height.
LIV aus	Livistona australis	Cabbage Palm	200L	12-20m x 3m	-	9	Native. Seasonal maintenance as required to remove fronds and seed pods.
MEL nod	Melaleuca nodosa	White Feather Honeymyrtle	45L	2-3 x 3m	-	4	Native. Seasonal maintenance as required. Maintain with clear trunk 1.5m height.
TRI lau L	Tristaniopsis laurina 'Luscious'	Water Gum	75L	7 x 5m	-	2	Native cultivar. Seasonal maintenance as required. Maintain with clear trunk 1.5m height.
Street Trees:							
LOP con	Lophostemon confertus	Brushbox	200L	10-15 x 5m	-	4	Native. Seasonal maintenance as per City of Sydney requirements.

Notes:

- + *Nominal height / spread at maturity - will vary based on maintenance regimes and site growing conditions.
- + Planting design subject to detailed design and documentation.
- + Species selection subject to availability at time of tendering and construction.

Shrubs:



ACA sua: Acacia suaveolens Sweet-scented Wattle



BAN spi: Banksia spinulosa Hairpin Banksia



BUR spi: Bursaria spinosa Sweet Bursaria



COR alb: Correa alba White Correa



GOO ova: Goodenia ovata Hop Goodenia



MEL thy: Melaleuca thymifolia Honey-myrtle



MEL vim BJ: Melaleuca viminalis 'Better John' Dwarf Bottlebrush



PIT tob MM: Pittosporum tobira 'Miss Muffet' Dwarf Pittosporum



SYZ aus R: Syzygium australe 'Resilience' Lilly Pilly



WES fru AB: Westringia fruticosa 'Aussie Box' Coastal Rosemary

Trees + Palms:



ANG cos: Angophora costata Sydney Red Gum



BUC cel: Buckinghamia celsissima Ivory Curl Flower



COR mac: Corymbia maculata Spotted Gum



ELA eum: Elaeocarpus eumundi Smooth-leaved Quandong



LIV aus: Livistona australis Cabbage Palm



MEL nod: Melaleuca nodosa White Feather Honeymyrtle



TRI lau L: Tristaniopsis laurina 'Luscious' Watergum

Street Trees:



LOP con: Lophostemon confertus Brush Box



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Architect:
BATESSMART.

Issue: A 10.09.25 For DA Submission
Date: B 03.02.26 DA Submission Amendments
Reviewed by: DW
Reviewed by: DW

Project: Banksia Apartments
20-26 Bourke Road, Alexandria NSW
Client:

Title: **Plant DA Schedule**
2 of 2

Project No.: 2532
Date: 03.02.2026
Scale: N/A @ A1

Drawing: 2532-013
Issue: B

Maintenance Requirements & Management Plan:

General:

The landscape works shall be maintained for the full life of the landscape. The frequency of maintenance shall occur every fortnight and works include, but are not limited to, watering, weeding, pruning, rubbish removal, fertilising, pest and disease control, plant replacement and the like.

Ensure the general appearance and presentation of the landscape and the quality of plant material at date of installation is maintained for the full life of the landscape.

Prune to AS4373 and the pruning requirements as outlined within the Plant Schedule on drawing 1916-014 and 1916-015.

Fertilising:

Fertiliser shall be an approved prolonged release type, such as ‘native plant food + t/e’ as supplied by Patons or approved equivalent with a N:P:K:S ratio of 7.9:1.8:5.2(s/p): 8.7 applied at the rate specified by the manufacturer. Apply all-purpose fertiliser to mass planting areas annually in two bands and cultivated into the soil 100 mm deep.

Season: fertilise all planting in September and March according to their seasonal growth requirement.

Insect & Disease Control:

Insecticide and fungicide spraying, if considered necessary, shall be carried out in accordance with the manufacturer’s instructions. The maintenance contractor shall treat all occurrences of insect attack or disease in plant material.

Period for treatment: until the problem has been eliminated.

Chemical spray: avoid windy days or if rain is likely to follow within 12 hours. Apply to the manufacturer’s instructions and material data and safety sheets.

Weeding:

Weeds are unwanted plants and grasses not planted as part of the original works.

Program: as required for planted and mulched areas to be weed free when observed at fortnightly maintenance intervals.

Method: clear and keep clear vigorous ground covers 200 mm from the base of any large shrub, palm or tree. To be completed by hand.

Herbicide application: avoid windy days or if rain is likely to follow within 12 hours. Apply to the manufacturer’s instructions and material data and safety sheets. Apply when the weather is humid with moderate temperatures and maximum sunlight. Apply when the ground has the recommended soil moisture.

Stakes & Ties:

Adjust and/or replace stakes and ties where required. Remove all stakes ties when the planting has fully established and is self-supporting.

Generally, if plants are unable to be self-supported or if stakes are damaged, stake or re-stake the plants as required.

Removal: if plants are robust with well-developed systems and are strong enough to no longer require support, remove stakes and ties.

Mulched areas:

Maintain mulched areas in a clean and tidy condition. Reinstate mulch to specified depths and extents. The maintenance contractor is to allow to top up all mulch areas at least once every three months.

Depth: maintain a minimum depth of 75mm for organic mulch. Maintain the original ground levels around the base of plants.

Grass Areas - General:

Litter: remove litter and fallen branches before mowing.
Grass height: consistent with the growth habit of the grass variety and maintained at 25 mm to 35 mm throughout the year.
Program: weekly during the mowing season, November to March, and at bi-weekly intervals during April to October. Do not mow under wet conditions.
Raking: once every month before mowing, during the mowing season, with a flexible rake. On alternate mowings, adopt a north-south and east-west pattern.
Edges: at the same time as mowing, trim lawn edges to plant beds, pathways, base of trees and other obstacles. Ensure trees and shrubs are not damaged.
Clippings distribution: off site.

Grass Areas - Topdressing:

Topdressing material for established lawns: weed free imported sandy topsoil to a depth of 5 mm.
Program: the spring following establishment.
Topdressing material for remediation of depressions or irregularities: apply coarse or medium soil to as 4419 suitable for application to turf or grass seeded areas.

Grass Areas - Fertilising:

Fertilising: apply lawn fertiliser at the completion of the first and last mowings of the plant establishment period, and at other times as required to maintain healthy grass cover.

Watering:

Watering program: minimum three complete waterings, soaking to a depth of 150 mm at fortnightly intervals for the first 6 weeks of plant establishment irrespective of natural rainfall. Mass planted areas including trees shall be watered regularly with an even deeply penetrating application to ensure continuous healthy growth. Avoid frequent dampening of the surface. Allow the surface of the soil to partially dry out between waterings.

Water quality: ph between 5.5 and 7.5. Total soluble salts less than 1000 mg/litre. No substances that would be toxic to plant growth.

Water restrictions: coordinate the water supply and confirm the watering regime against state and territory legislation and restrictions at the time.

Irrigation:

Drip irrigation system for all mass planted areas are included for all planters, connected to the site stormwater harvesting system. Regularly inspect the irrigation system to ensure it is functioning appropriately as per the manufacturers requirements.

Replacement planting:

Immediately replace plants, which die or fail to thrive or are damaged or stolen, with plants of same size and quality unless otherwise directed. All planters are located within compliant accessible terraces.

Waste removal:

Remove all green waste and general waste from ongoing maintenance inspections via the building waste management system. Green waste is to be disposed in appropriate green waste systems for recycling. Any large limbs of foliage that is removed is to be broken down to a manageable size and disposed as required via the building waste management system

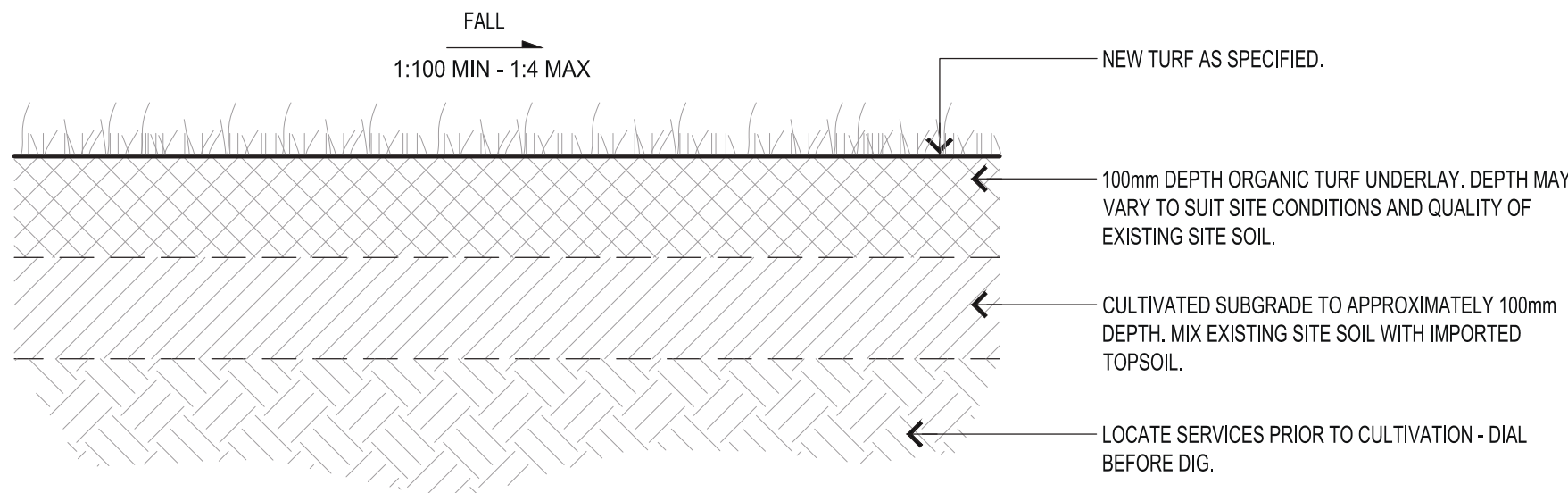
Completion:

- Generally: plant maintenance period shall be deemed complete, subject to the following:
- + Repairs to planting media completed.
 - + Pests, disease, or nutrient deficiencies or toxicities are not evident.
 - + Organic and rock mulched surfaces have been maintained in a weed free and tidy condition and to the specified depth.
 - + Vegetation is established and well formed.
 - + Plants have healthy root systems that have penetrated into the surrounding, undisturbed ground and not able to be lifted out of its planting hole.
 - + Collection and removal of litter.
 - + Removal of mulch from drainage and access areas.

Immediately replace plants, which die or fail to thrive or are damaged or stolen, with plants of same size and quality unless otherwise directed.
In the case of stolen or vandalised plants the contractor will be required to replace the plants a maximum of once for each plant.

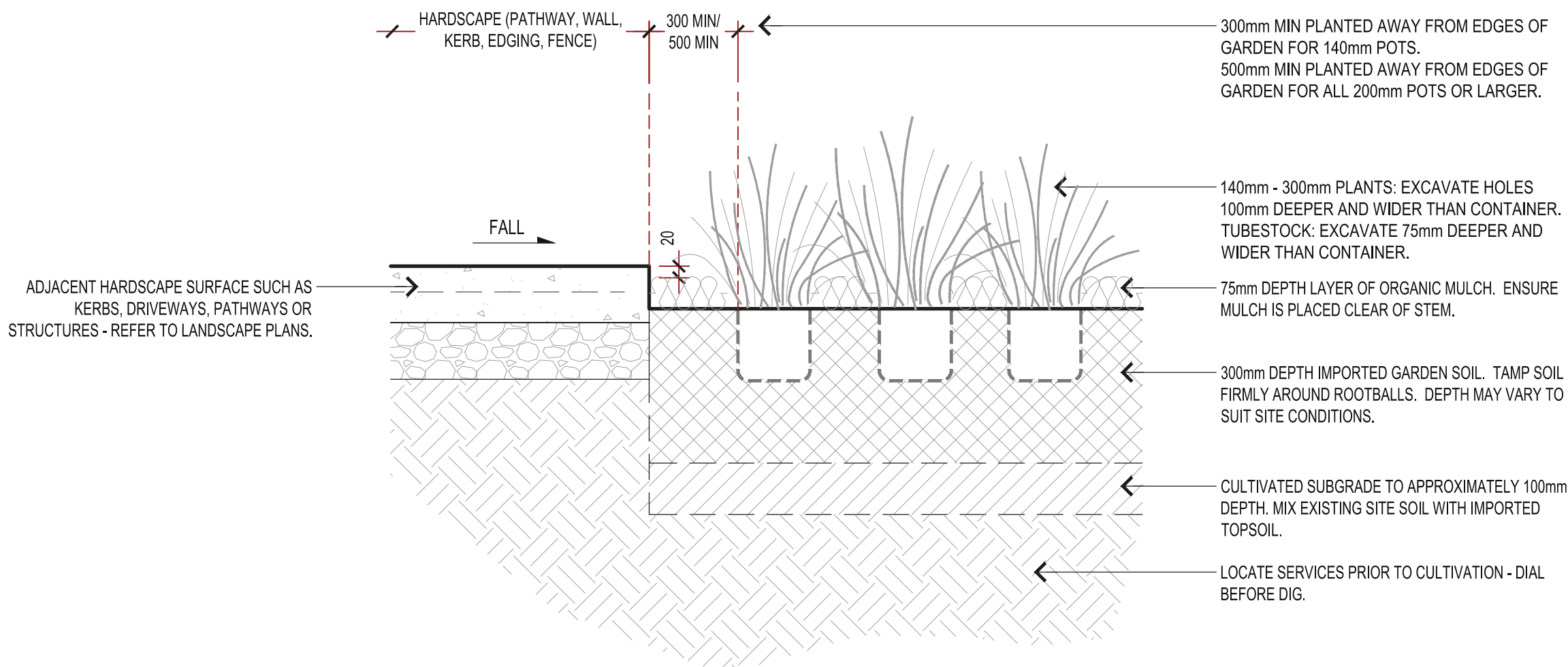
Plant establishment compliance table:

Plant material:	Acceptable failure per area:	Acceptable concentration of failure:
Tube stock	< 10%	< 15% in any given location
140mm	< 5%	< 15% in any given location
300 mm or larger	< nil%	nil %
Turf	< 5%	nil %



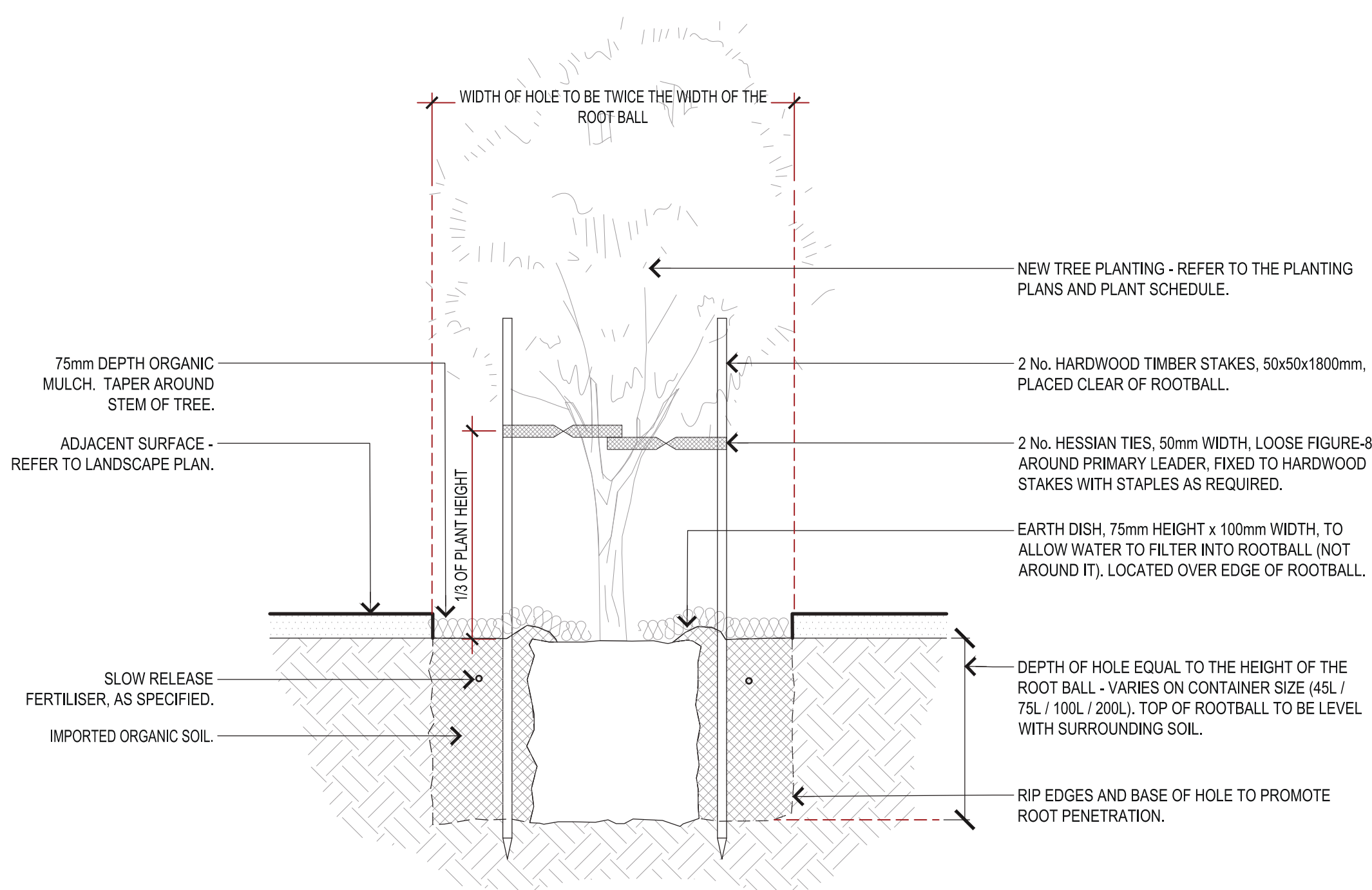
Turf Planting (Deep soil) - Typical Detail:

Scale: 1:10 @A1



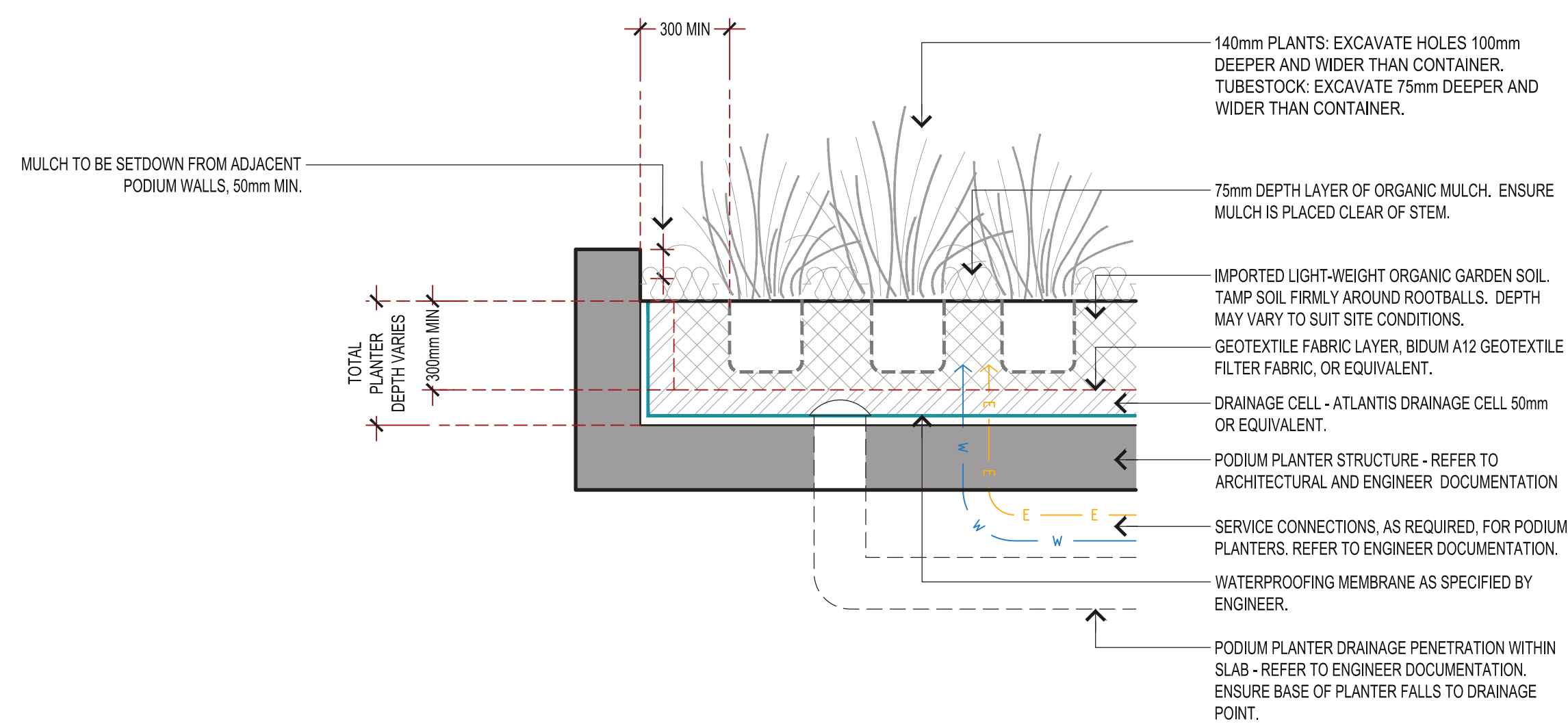
Mass Planting (Deep soil) - Typical Detail:

Scale: 1:10 @A1



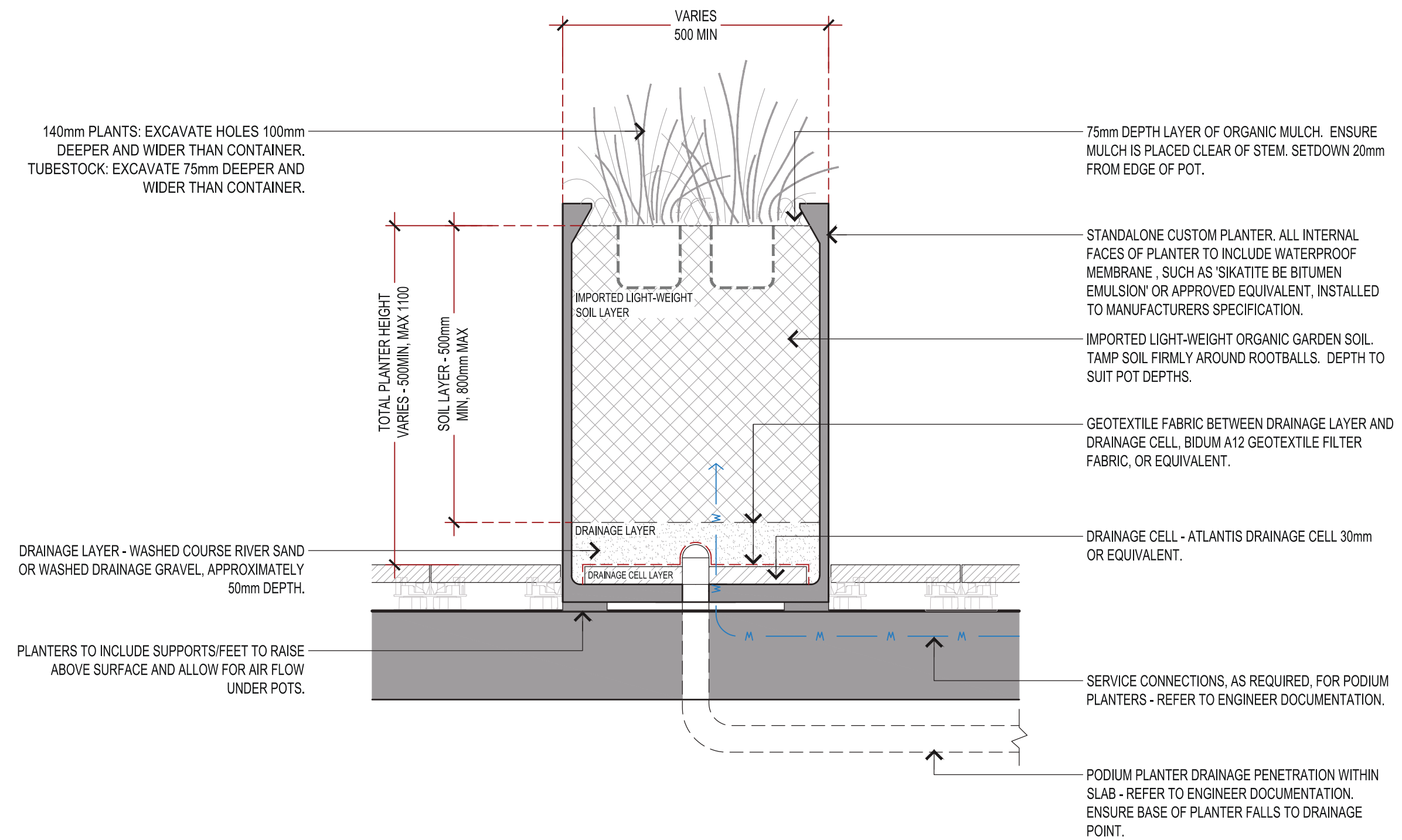
Tree Planting (Deep soil) - Typical Detail:

Scale: 1:20 @A1



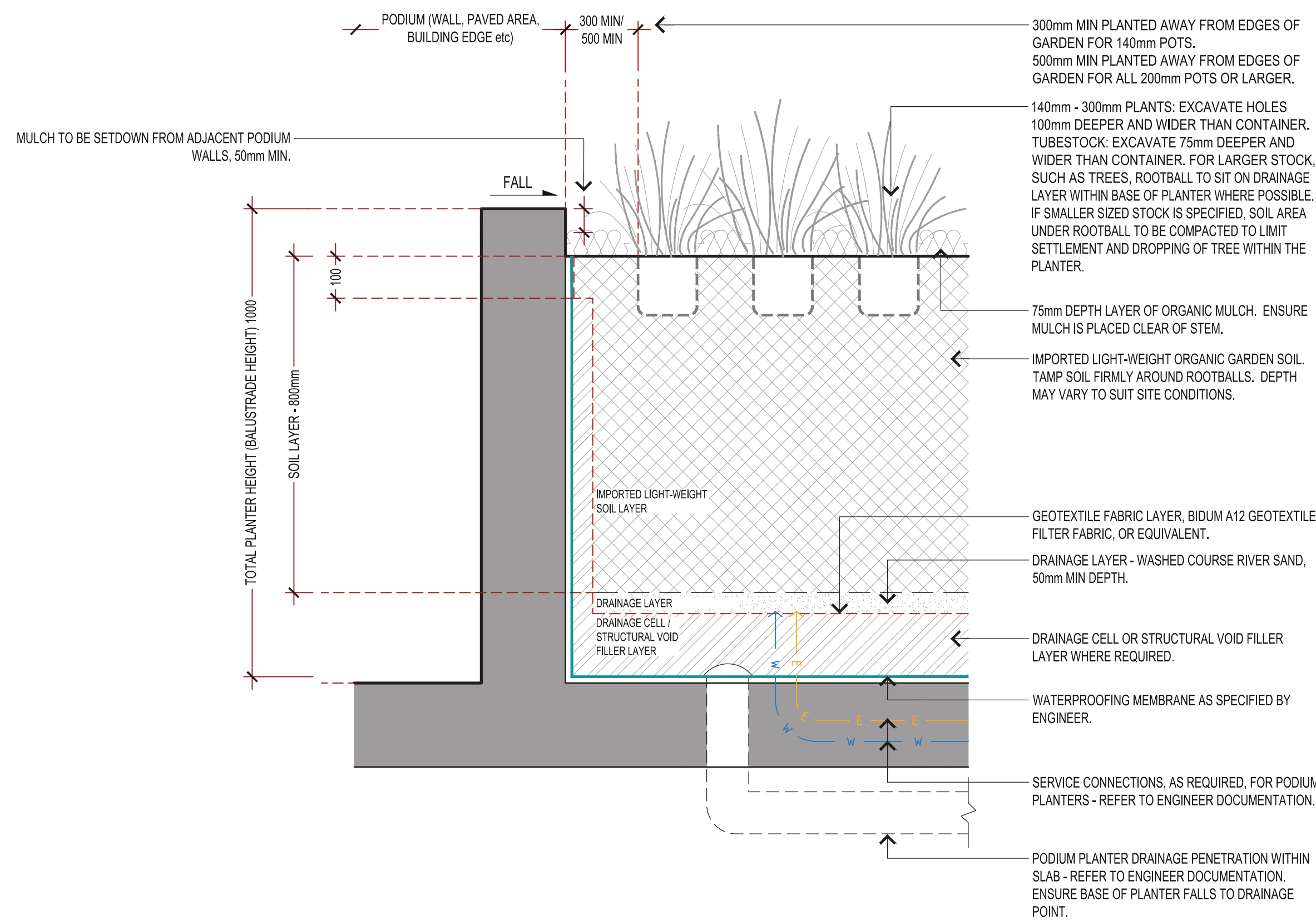
Mass Planting Greenroof (Built-in Podium Planters) - Typical Detail:

Scale: 1:10 @A1



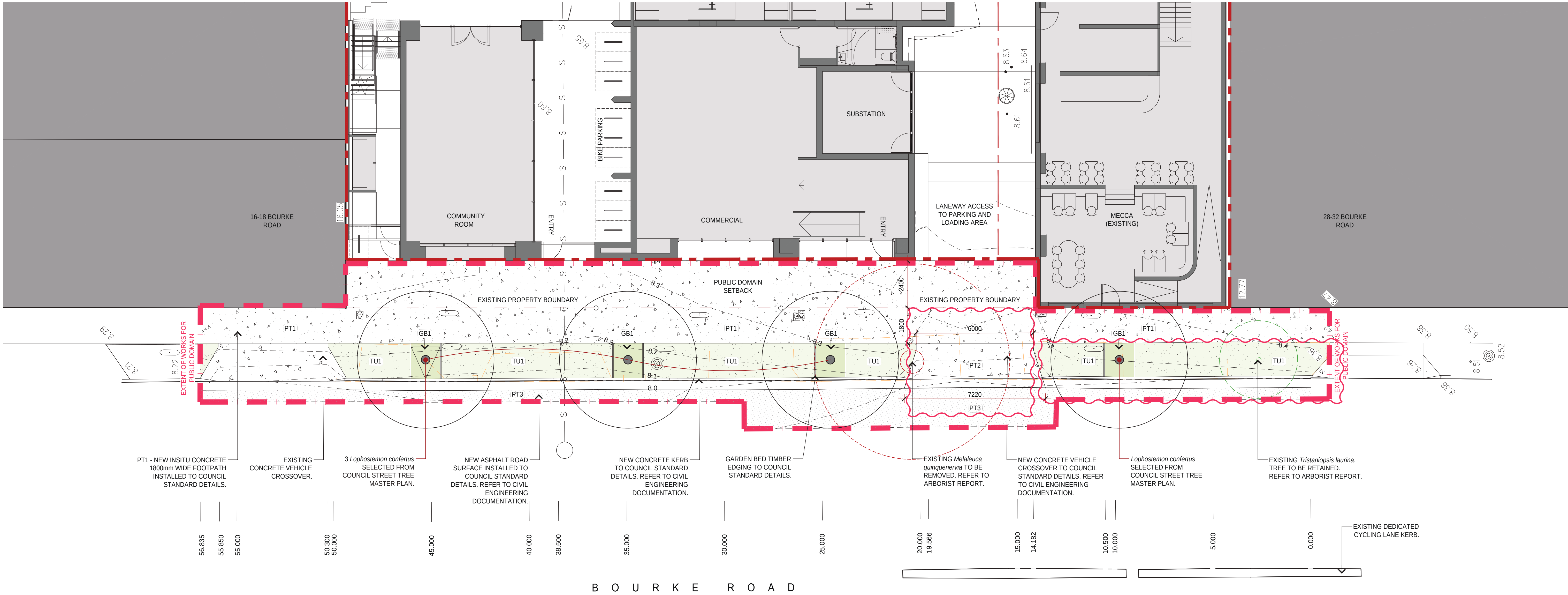
Mass Planting (Stand-alone Podium Planters) - Typical Detail:

Scale: 1:10 @A1



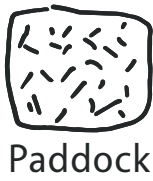
Tree and Mass Planting (Built-in Podium Planters) - Typical Detail:

Scale: 1:10 @A1



Legend:

	EXTENT OF WORKS FOR PUBLIC DOMAIN WORKS.
	PROPERTY BOUNDARY.
	EXISTING WORKS TO BE DEMOLISHED. REFER TO SURVEY.
	EXISTING LEVEL. REFER TO SURVEY.
	PROPOSED LEVELS AND CONTOURS. REFER TO CIVIL DOCUMENTATION.
	EXISTING SEWER LINE. REFER TO SURVEY.
	PAVEMENT TYPE 1: NEW INSITU CONCRETE TYPE "A" 1800mm WIDE FOOTPATH AS PER "CITY OF SYDNEY STREET DESIGN CODE" MATERIALS D5.4 PALETTE "C" AND TO COUNCIL STANDARD DETAILS.
	PAVEMENT TYPE 2: NEW CONCRETE VEHICLE CROSSOVER TO COUNCIL STANDARD DETAILS. REFER TO CIVIL ENGINEERING DOCUMENTATION.
	PAVEMENT TYPE 3: NEW ASPHALT ROAD SURFACE TO COUNCIL STANDARD DETAILS. REFER TO CIVIL ENGINEERING DOCUMENTATION.
	TURFED VERGE TO COUNCIL STANDARD DETAILS.
	GARDEN BED TYPE 1 - MULCHED AREAS TO TREE SURROUNDS. REFER TO COUNCIL STANDARD DETAILS.
	NEW TREE PLANTINGS TO COUNCIL STANDARD DETAILS.
	TREE TO BE REMOVED. REFER TO ARBORIST REPORT.



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Not for pricing or construction. Drawing to be read in conjunction with all relevant project and consultant documentation.

Architect:
BATESSMART.

Issue: A 10.09.25 For DA Submission
Date: B 03.02.26 DA Submission Amendments

Reviewed by: DW
DW

Project: Banksia Apartments
20-26 Bourke Road, Alexandria NSW



Title: Public Domain Works Plan

Project No.: 2532
Date: 03.02.2026
Scale: 1:100 @ A1



Drawing: 2532-016

Issue: B